

**Niagara Escarpment Commission**

1450 7<sup>th</sup> Avenue East  
Owen Sound, ON N4K 2Z1  
Tel. No. (519) 371-1001  
necowensound@ontario.ca  
www.escarpment.org

**Commission de l'escarpement du Niagara**

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Owen Sound, ON N4K 2Z1  
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January 18, 2022

**Via Email**

County of Grey Planning and Development  
Grey Sauble Conservation Authority  
Town of The Blue Mountains Planning & Building Services Dept

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## **REQUEST FOR COMMENTS**

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**FILE NUMBER:** G/R/2021-2022/664

**APPLICANT:** Mike Orenczuk  
**AGENT:** Larry Swalm, Ultimate Shack Inc.  
**OWNER:** Same as Applicant

**LOCATION:** Part Lot 18, Concession 5  
Blue Mountains, County of Grey  
**ARN** 424200000517910

**PROPOSED DEVELOPMENT:**

To undertake the following work on a vacant 3.2 ha (8 ac) existing lot:

- Construct 1 storey  $\pm 231 \text{ m}^2$  ( $\pm 2487 \text{ ft}^2$ ) single-family dwelling with partial walkout having a maximum height of  $\pm 7.3 \text{ m}$  ( $\pm 24 \text{ ft}$ ).
- Construct a  $71.5 \text{ m}^2$  ( $\pm 770 \text{ ft}^2$ ) covered deck.
- Construct a  $\pm 22.3 \text{ m}^2$  ( $\pm 240 \text{ ft}^2$ ) sun deck.
- Construct a  $\pm 185.8 \text{ m}^2$  ( $\pm 2000 \text{ ft}^2$ ) detached garage
- Install a sewage disposal system (Class 4)
- Construct a gravel driveway 284.4 m (933 ft) in length, 3.66 m (12 ft) in width
- Install a hydro line (two options have been suggested)
- Construct a future pool and install roof-mounted solar panels

The attached Development Permit application, which is summarized above, is being sent to you for your review. Your comments and recommendations are requested for the Niagara Escarpment Commission's consideration.

We would appreciate receiving your comments via email to [necowensound@ontario.ca](mailto:necowensound@ontario.ca) by: **February 18, 2022**. If we do not receive your comments by this date, we will assume you have no objection to this proposal. If you require additional time to provide comments, please notify us at least one week prior to this date.

If you require further information, please contact Judy Rhodes-Munk at [judy.rhodes-munk@ontario.ca](mailto:judy.rhodes-munk@ontario.ca)

(For NEC office use only)

**NIAGARA ESCARPMENT DEVELOPMENT PERMIT APPLICATION**

(FMS #0113 - Revised August 15, 2019)

**THE NIAGARA ESCARPMENT PLANNING AND DEVELOPMENT ACT, RSO, 1990, AS AMENDED****NIAGARA ESCARPMENT COMMISSION**
 232 Guelph Street, 3<sup>rd</sup> Floor  
 Georgetown, ON L7G 4B1

Phone: 905-877-5191

Fax: 905-873-7452

Website: [www.escarpment.org](http://www.escarpment.org)Email: [necgeorgetown@ontario.ca](mailto:necgeorgetown@ontario.ca)*Serving the areas of:*

Dufferin County (Mono)

Region of Halton

Region of Peel

Region of Niagara

City of Hamilton

**NIAGARA ESCARPMENT COMMISSION**
 1450 7<sup>th</sup> Avenue  
 Owen Sound, ON N4K 2Z1

Phone: 519-371-1001

Fax: 519-371-1009

Website: [www.escarpment.org](http://www.escarpment.org)Email: [necowensound@ontario.ca](mailto:necowensound@ontario.ca)*Serving the areas of:*

Bruce County

Grey County

Simcoe County

Dufferin County (Mulmur, Melancthon)

- Please ensure that the information you provide in this application is complete and accurate.
- Incomplete or inaccurate information will delay the processing of your application.
- Please contact your local Commission office if you have any questions about your proposal or this application.

**1. OWNER (Required)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
*Street/P.O. Box*\_\_\_\_\_  
*City/Town Province Postal Code*

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**2. APPLICANT or AGENT (if applicable)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_  
*Street/P.O. Box*\_\_\_\_\_  
*City/Town Province Postal Code*

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

**3. PROPERTY LOCATION & INFORMATION**Municipality: \_\_\_\_\_ Civic/Street Address #: \_\_\_\_\_  
(Fire/Emergency #)

Lot: \_\_\_\_\_ Concession: \_\_\_\_\_ and/or Lot: \_\_\_\_\_ Plan: \_\_\_\_\_

Assessment roll number or PIN: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Date the property was purchased or future date of purchase: \_\_\_\_\_

#### 4. PROPERTY SERVICING

**Existing Road Frontage:** ☐ Municipal ☐ Private

**Existing Water Supply:** ☐ Municipal ☐ Private

**Existing Sewage Disposal:** ☐ Municipal ☐ Private

**Proposed Road Frontage:** ☐ Municipal ☐ Private

**Proposed Water Supply:** ☐ Municipal ☐ Private

**Proposed Sewage Disposal:** ☐ Municipal ☐ Private

#### 5. EASEMENTS, COVENANTS, AGREEMENTS

**Describe** the type and terms of any easements, right-of-ways, covenants, agreements or other restrictions registered on or affecting the title of the property and/or attach a copy:

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#### 6. EXISTING & PROPOSED DEVELOPMENT

**Note:** "Development" includes the construction of buildings and structures, alterations to the landscape, (e.g: placing fill, drainage alterations, pond construction or alteration), any change of use or new use (e.g: residential to commercial, new home business, etc.). If additional space is required, please include a separate attachment.

**Briefly Describe** the current use of the property and any existing buildings, structures, or alterations to the landscape:

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**Briefly Describe** any proposed changes to the use of the property and any proposed new buildings, structures, or alterations to the landscape:

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#### **Note regarding Sections 7-14:**

Depending on the type or nature of the proposed development and/or the characteristics of the property, supporting information such as Environmental Impact Studies, Landscape Plans, Lighting Plans, Visual Assessments, Grading Plans, Erosion Control Plans, Slope Stability Studies, etc., may be required in support of the following information.

#### 7. LOT CREATION

If this application involves the creation / severance of a new lot, please provide the following information:

**i) Existing Lot:**

Frontage \_\_\_\_\_

Depth \_\_\_\_\_

Size \_\_\_\_\_

**ii) Proposed Lot:**

Frontage \_\_\_\_\_

Depth \_\_\_\_\_

Size \_\_\_\_\_

**iii) Retained Lot:**

Frontage \_\_\_\_\_

Depth \_\_\_\_\_

Size \_\_\_\_\_

**iv) Use of new Lot**

- ☐ Agricultural
- ☐ APO
- ☐ Commercial
- ☐ Conservation
- ☐ Industrial
- ☐ Lot Addition
- ☐ Recreational
- ☐ Residential

## 8. CONSTRUCTION DETAILS

### PLEASE NOTE

**Ground Floor Area:** The total exterior measurements of any building, including attached garages and enclosed decks (as applicable).

**Total Floor Area:** Is based on the exterior measurements of the building and includes the total of the ground floor area (including attached garages, etc), plus walkout basements, plus full or half second storeys, etc.

**Maximum Height:** is measured from the lowest grade (e.g., walkout side), to the peak of the roof.

**Please provide a description of all existing and proposed development in the following fields:**

Use of Structure	Existing, Proposed, or to be Demolished	Ground Floor Area (footprint)	Total Floor Area (all storeys and walkouts)	# of Storeys	Maximum Height (lowest grade to peak)

Amount of fill to be imported to facilitate the proposed development (if required): \_\_\_\_\_

## 9. ACCESSORY FACILITIES, STRUCTURES, FILLING, GRADING, UTILITIES, INFRASTRUCTURE etc.

(e.g: Driveways, Decks, Gazebos, Swimming Pools, Tennis Courts, Lighting, Signs, Wind Turbines, Solar Panels, Hydro Poles/Lines, Retaining Walls, Placement of Fill, Cutting and Filling, Grading, Berms, Parking Areas, Tree/Site Clearing, etc.) (See next page for Ponds)

**Describe and provide information** such as: dimensions, size, height, amount of fill etc.

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## 10. HOME BUSINESS, CHANGE OF USE, NEW USE

(e.g): Establishing a **Home Business, Home Occupation, Home Industry** or **Bed and Breakfast** business.  
Converting or changing the use or establishing a new use on a property or within any dwelling building or structure on a property.)

**Describe** the proposed business or new use and **provide information** such as:

Type of business or use, size or area of building &/or land to be occupied or altered by the use, construction or alteration details, number of employees, access, parking, storage details, sales, hours of operation, signage, etc.

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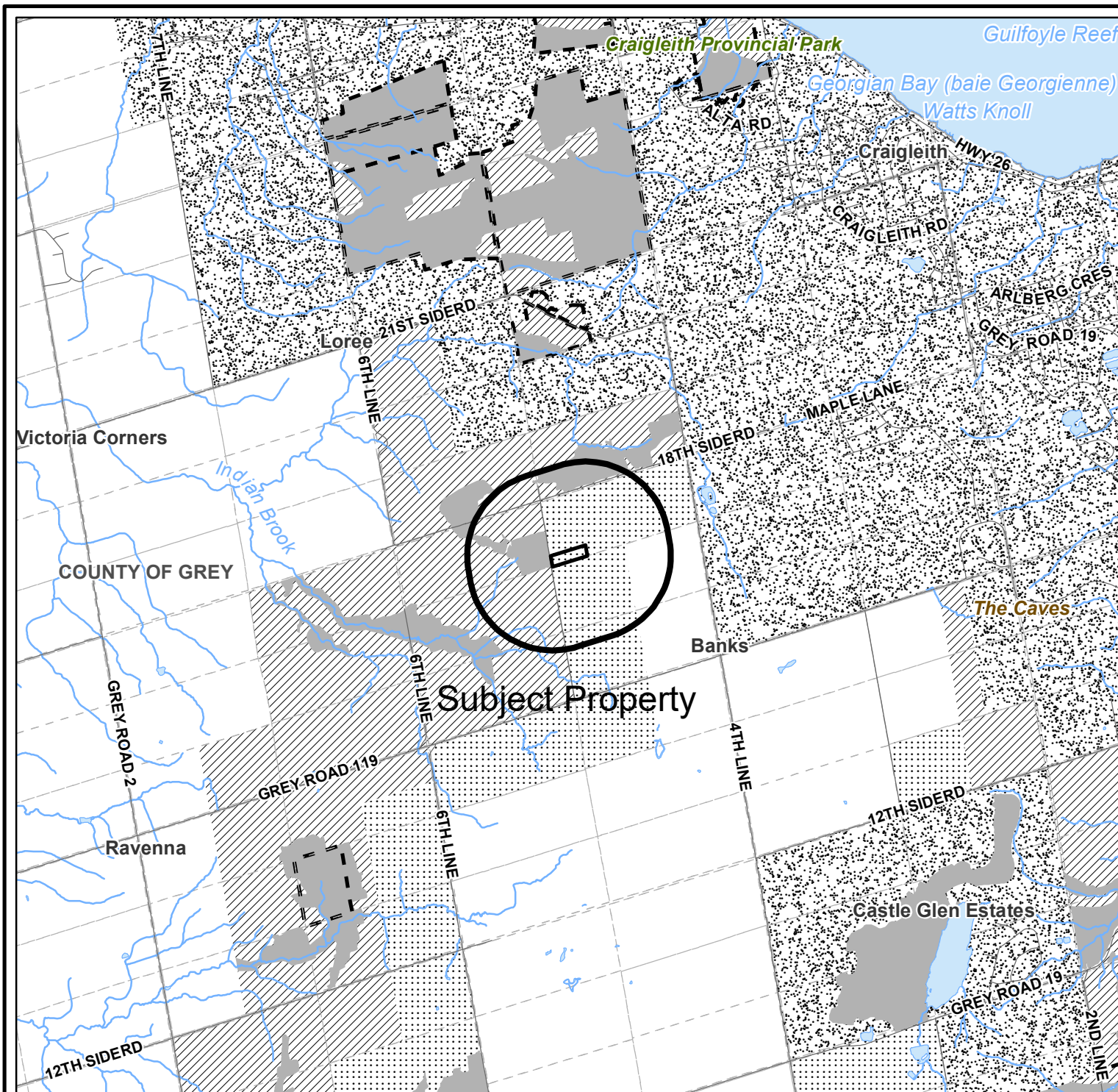
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Note: A separate, detailed, business overview or plan should be provided.



# Map 1A Niagara Escarpment Plan

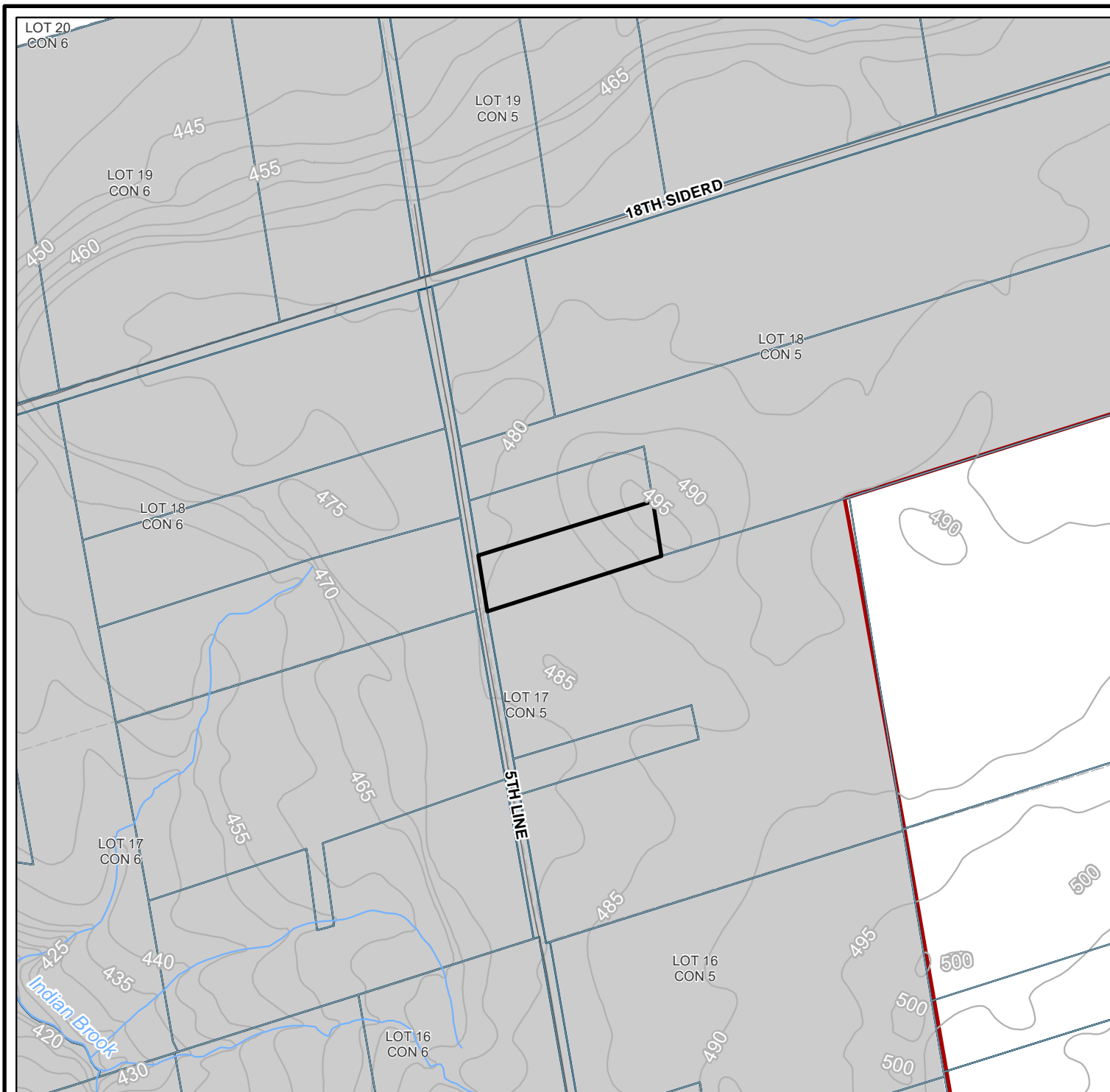
424200000517910  
File: G/R/2021-2022/664

- Subject Property
- Geographic Names
- Plan Designations**
  - Escarpment Natural Area
  - Escarpment Protection Area
  - Escarpment Rural Area
  - Escarpment Recreation Area
  - Public Land (in Parks and Open Space System)
- Roads
- Waterbodies
- Watercourse
- Upper Tier Municipality
- Lot and Concession Boundary

NOTE: The Niagara Escarpment Plan Designation boundaries shown on this map are approximate and subject to confirmation through Site Inspection and the application of the "Interpretation of Boundaries" section of the Niagara Escarpment Plan

Scale 1:50,000  
0 380 760 1140 1520  
Metres  
Printed on Jan 18, 2022

THIS IS NOT A PLAN OF SURVEY.  
This map is illustrative only. Do not rely on it as being a precise indicator of routes, location of features, nor as a guide to navigation. Base derived from various sources.  
Map compiled and produced by the Geographic Information Systems (GIS) Department of the Niagara Escarpment Commission, Ministry of Natural Resources



## Map 2 - Development Control

### Lot Configuration

424200000517910

File: G/R/2021-2022/664

- Subject Property
- Geographic Names
- Niagara Escarpment Plan Area
- Area of Development Control
- Roads
- Watercourse
- Contour (5 metre intervals)
- Upper Tier Municipality
- Lot and Concession Boundary
- Parcel Boundary
- Ownership Boundary

Area of Development Control Drawn for Convenience Only. Refer to the appropriate Ontario Regulation for an accurate interpretation of the Development Control Area.

Scale 1:10,000

0 75 150 225 300

Metres

Printed on Jan 06, 2022

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## Map 2C Orthophoto

424200000517910  
File: G/R/2021-2022/664

-  Subject Property
-  Geographic Names
-  Roads
-  Watercourse
-  Upper Tier Municipality
-  Lot and Concession Boundary
-  Parcel Boundary
-  Ownership Boundary
-  Ontario\_Imagery\_Service\_Extent

Orthophoto Date: 1995-2015

Scale 1:10,000  
0 75 150 225 300  
Metres

Printed on Jan 06, 2022

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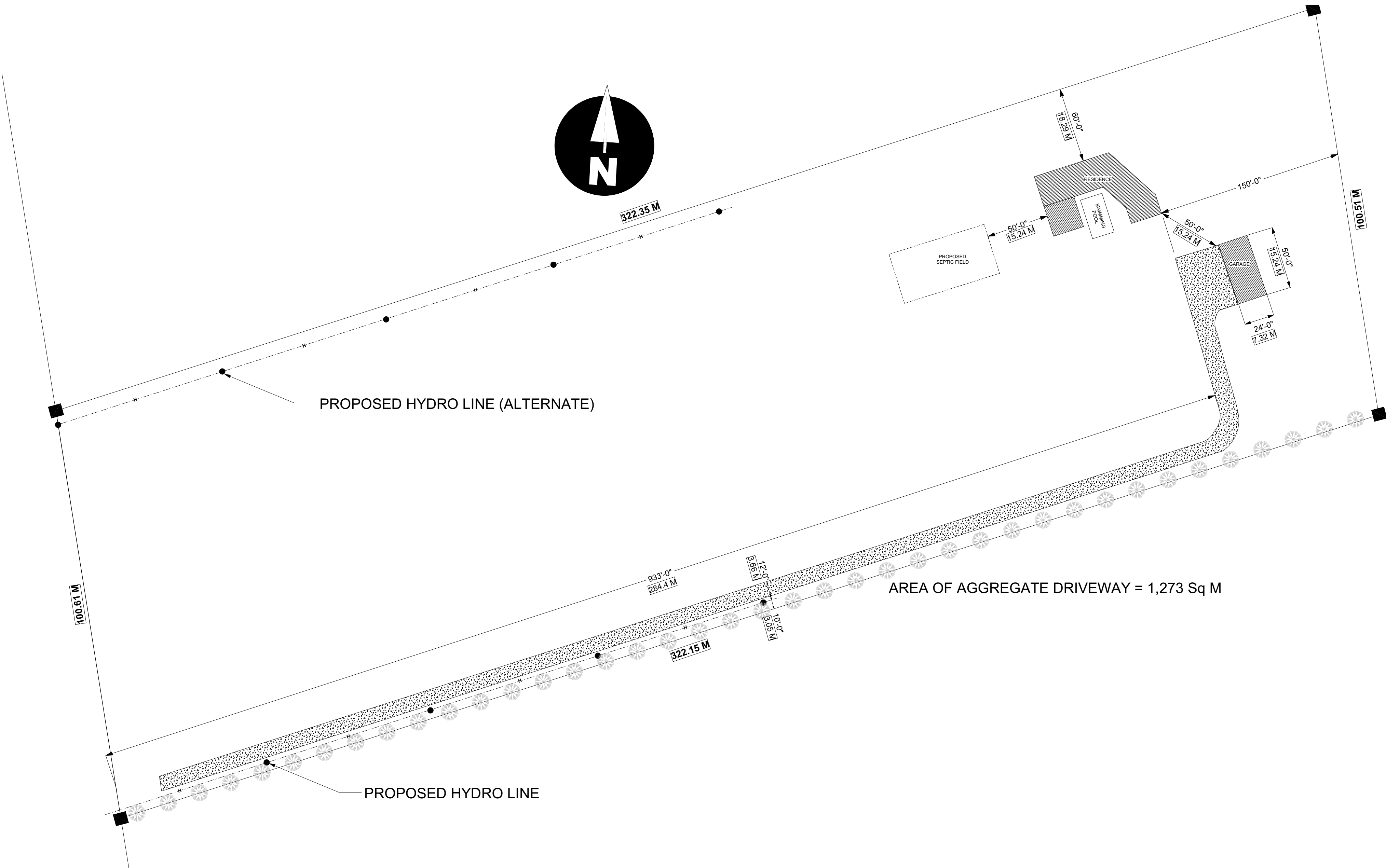
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MAP 3: SITE PLAN  
File: G/R/2021-2022/664



REVISION  
4  
(12\_10\_21)

ORENCZUK  
RESIDENCE  
5TH LINE BLUE  
MOUNTAINS

SCALE:  
1/4"=1'  
(EXCEPT AS NOTED)

SITE PLAN

File: G/R/2021-2022/664



B C I N

REVISION  
0

2021-12-12

ORENCZUK  
RESIDENCE

SCALE  
5/32"=1'  
[EXCEPT AS NOTED]

PRESENTATION  
OVERVIEW

SHEET

1

7



## NON-PRESSURE TREATED WOOD

WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM OR OTHER DAMP-PROOFING MATERIAL. SUCH DAMP-PROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST 6" ABOVE THE GROUND.

## WOOD NOTES

1. ALL DIMENSIONAL LUMBER TO BE SPF #2 OR BETTER
2. ALL PRE ENGINEERED ROOF TRUSSES AND FLOOR JOISTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
3. ENSURE MINIMUM 3-1/2" BEARING FOR ALL WOOD BEAMS UNLESS OTHERWISE NOTED.
4. ENSURE MINIMUM 1-1/2" BEARING FOR ALL SOLID SAWN FLOOR JOISTS UNLESS OTHERWISE NOTED.
5. ALL FLOOR SHEATHING SHALL BE 5/8" T&G APPROVED SUBFLOOR ON ALL WOOD FLOOR JOISTS UNLESS OTHERWISE NOTED.
6. TJ RIMBOARD TO BE MIN 1-1/8" OSB WHERE REQUIRED. 1-1/4" TIMBERSTRAND LSL MAY ALSO BE USED. WHERE REQUIRED JOIST BLOCKING MAY BE USED AS AN ALTERNATIVE.
7. PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITIONS OR BLOCKING BETWEEN WOOD JOISTS (NON LOAD BEARING WALLS)
8. ALL BEARING WALLS TO BE 2"x6" @ 16" O/C UNLESS OTHERWISE NOTED.
9. REFER TO MANUFACTURER'S SPECIFICATIONS FOR BRIDGING AND STRAPPING REQUIREMENTS.
10. ALL NON BEARING WALLS TO BE CONSTRUCTED OF 2"x4" @ 16"O/ C UNLESS OTHERWISE NOTED.

## STAIRS, HANDRAILS & GUARDS

1. EXIT STAIRS SHALL HAVE A WIDTH OF NOT LESS THAN 2'-10" FOR SINGLE DWELLING UNITS AND 2'-11" FOR ALL OTHER OCCUPANCIES, MEASURED BETWEEN WALL FACES OR GUARDS.
  2. CLEAR HEIGHT OVER STAIRS SHALL BE NOT LESS THAN 6'-5" FOR SINGLE DWELLING UNITS AND 6'-9" FOR ALL OTHER OCCUPANCIES.
- STEP DIMENSIONS:
3. RISERS SHALL HAVE UNIFORM HEIGHT IN ANY ONE FLIGHT WITH A MAXIMUM TOLERANCE OF 3/16" BETWEEN ADJACENT TREADS OR LANDINGS AND 3/8" BETWEEN THE TALLEST AND SHORTEST RISERS IN A FLIGHT.
- INTERIOR/EXTERIOR RAIL GUARDS:
4. INSTALLATION OF GUARDS FOR THE INTERIOR AND EXTERIOR MUST CONFORM TO OBC 9.8.7.7 (OBC 2012)
  5. ALL GUARDS AS PER OBC 3.4.7.6
  6. ALL INTERIOR STAIRS AND LANDINGS (MORE THAN 2 RISERS), SHALL HAVE THE SIDES PROTECTED BY A GUARD IF NOT PROTECTED BY A WALL.
  7. EXTERIOR GUARDS TO BE 3'-6" HIGH FOR FLOOR TO FLOOR/ GRADE HEIGHTS GREATER THAN 5'-11"
  8. EXTERIOR GUARDS TO BE 2'-11" HIGH FOR FLOOR FLOOR/GRADE HEIGHT LESS THAN 5'-11", WHEN SERVING NOT MORE THAN ONE DWELLING UNIT.
  9. GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXITS SHALL BE NOT LESS THAN 2'-11"
  10. PICKETS TO HAVE A MAXIMUM OPENING OF 4"
  11. NO GUARDS WITH IN A DWELLING UNIT SHALL BE LESS THAN 2'-11".
- INTERIOR/EXTERIOR HANDRAIL:
12. IF HANDRAIL IS USED AGAINST AN INTERIOR WALL:  
HANDRAIL MAX HEIGHT = 38"  
HANDRAIL MIN HEIGHT = 34"  
MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR NOSING
  13. WHERE GUARDS ARE REQUIRED, HANDRAILS ON LANDING ARE PERMITTED TO BE NOT MORE THAN 42". EXTERIOR HANDRAILS SHALL BE A MINIMUM 42" UNLESS OTHERWISE SHOWN.
  14. HANDRAIL CONSTRUCTION TO CONFORM TO OBC 3.4.6.5

## WASHROOMS

1. WOOD BLOCKING TO BE INSTALLED IN ALL MAIN FLOOR WASHROOMS TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO A WATER CLOSET AND A SHOWER OR BATH-TUB AS PER 9.5.2.3(1) OF O.B.C.
2. WASHROOMS TO BE FINISHED WITH MOULD RESISTANT DRYWALL, TAPED & SANDED

## STEPPED FOOTINGS

1. VERTICAL RISE BETWEEN HORIZONTAL PORTIONS SHALL NOT EXCEED 600MM (23 5/8")
2. HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE LESS THAN 600MM (23 5/8").

## FOUNDATIONS

1. CONCRETE COMPRESSIVE CYLINDER STRENGTH AT 28 DAYS SHALL BE 15 MPa UNLESS OTHERWISE NOTED FOR ALL FOUNDATIONS.
2. ALL EXTERIOR FOOTINGS SHALL BE CARRIED DOWN TO UNDISTURBED SOIL MINIMUM OF 4'-0" BELOW GRADE.
3. MINIMUM SOIL BEARING CAPACITY TO BE 75 KPa UNLESS OTHERWISE NOTED.
4. FOOTINGS AT PERIMETER OF UNEXCAVATED FOUNDATION TO HAVE WEEPING TILE DRAINAGE LAYER, DRAINING TO SUMP PIT C/W MIN 1/3 HP ELECTRIC SUMP PUMP

## VAPOUR BARRIERS

1. THERMALLY INSULATED WALLS, CEILINGS AND FLOOR ASSEMBLIES SHALL BE CONSTRUCTED WITH A VAPOUR BARRIER SUFFICIENT TO PREVENT CONDENSATION IN THE WALL SPACES, FLOOR SPACES OR ATTIC OR ROOF SPACES.
2. VAPOUR BARRIERS SHALL BE INSTALLED TO PROTECT THE ENTIRE SURFACES OF THERMALLY INSULATED WALLS, CEILING AND FLOOR ASSEMBLIES.
3. VAPOUR BARRIERS SHALL BE INSTALLED SUFFICIENTLY CLOSE TO THE WARM SIDE OF INSULATION TO PREVENT CONDENSATION AT DESIGN CONDITIONS.

## GENERAL NOTES

1. COORDINATE ALL STRUCTURAL WORK WITH OTHER TRADES, REPORT ANY CONFLICT IMMEDIATELY TO THE CONSULTANT FOR RESOLUTION. CONFIRM SIZE AND LOCATION OF ALL OPENINGS WITH TRADE REQUIRING THEM.
2. PROVIDE OPENINGS IN ROOFS, FLOORS AND WALLS AS SHOWN ON DRAWINGS OR OTHERWISE REQUIRED BY VARIOUS TRADES. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
3. GENERAL CONTRACTOR TO VERIFY ALL SITE DIMENSIONS AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DETAILS SHOWN TO DESIGNER BEFORE PROCEEDING WITH WORK.
4. ALL INTERIOR FRAMED 2X4 WALLS ARE W3A UNLESS OTHERWISE NOTED
5. ACCESS TO ATTIC SPACES TO BE MINIMUM OF 22"x28" FITTED W/ DOORS AND/OR COVERS, INSULATED AND WEATHERSTRIPPED.
6. ROOF SPACE VENTING TO CONFORM TO O.B.C. (2012) SECTION 9.19.1.2.
7. ROOF SPACE CLEARANCES TO CONFORM TO O.B.C. (2012) SECTION 9.19.1.3

## WALL ASSEMBLIES

### W1 EXTERIOR WALLS

1. WALL W1A ASSEMBLY:  
EXTERIOR SIDING FINISH BY OWNER  
3/4" STRAPPING @ 24" O.C.  
HOUSEWRAP AIR BARRIER, TAPED AT JOINTS  
1" R5 RIGID FOAM INSULATION  
7/16" WALL SHEATHING  
R20 INSULATED 2X6 STUD WALL  
6 MIL POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD, TAPED & SANDED
2. WALL W1B ASSEMBLY:  
EXTERIOR SIDING FINISH BY OWNER  
3/4" STRAPPING @ 24" O.C.  
HOUSEWRAP AIR BARRIER, TAPED AT JOINTS  
1" R5 RIGID FOAM INSULATION  
7/16" WALL SHEATHING  
2X6 STUD WALL
3. WALL W1C ASSEMBLY:  
EXTERIOR MASONRY FINISH BY OWNER, C/W BRICK TIES  
1" AIR SPACE  
HOUSEWRAP AIR BARRIER, TAPED AT JOINTS  
1" R5 RIGID FOAM INSULATION  
7/16" WALL SHEATHING  
R20 INSULATED 2X6 STUD WALL  
6 MIL POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD, TAPED & SANDED
4. WALL W1D ASSEMBLY:  
EXTERIOR MASONRY FINISH BY OWNER, C/W BRICK TIES  
1" AIR SPACE  
HOUSEWRAP AIR BARRIER, TAPED AT JOINTS  
1" R5 RIGID FOAM INSULATION  
7/16" WALL SHEATHING  
2X6 STUD WALL

### W2 CONCRETE WALLS

5. WALL W2A ASSEMBLY:  
8" POURED 24MPA CONCRETE FOUNDATION WALL  
C/W 2X6 SPF NO.2 SILL PLATE FASTENED TO 1/2" ANCHOR BOLTS @ 84" O.C.  
24" X 8" POURED 24MPA CONCRETE FOOTING C/W 2 RUNS CONTINUOUS 10M REBAR & KEY
6. WALL W2B ASSEMBLY:  
8" POURED 24MPA CONCRETE RETAINING WALL C/W REBAR PER ENG.  
20" X 6" POURED 24MPA CONCRETE FOOTING C/W 2 RUNS CONTINUOUS 10M REBAR & KEY
7. WALL W2C ASSEMBLY:  
8" POURED 24MPA CONCRETE FOUNDATION WALL,  
C/W 2X6 SPF NO.2 SILL PLATE FASTENED TO 1/2" ANCHOR BOLTS @ 84" O.C.  
24" X 8" POURED 24MPA CONCRETE FOOTING C/W 2 RUNS CONTINUOUS 10M REBAR & KEY  
HOUSEWRAP AIR BARRIER, TAPED AT JOINTS  
1" R5 RIGID FOAM INSULATION  
R12 INSULATED 2X4 STUD WALL  
6 MIL POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD, TAPED & SANDED
8. WALL W2D ASSEMBLY:  
1/2" CEMENT BOARD AT EXPOSED FOAM EXTERIOR  
6" POURED 24MPA ICF FOUNDATION WALL  
1/2" CEMENT BOARD AT EXPOSED FOAM INTERIOR  
22" X 8" POURED 24MPA CONCRETE FOOTING C/W 2 RUNS CONTINUOUS 10M REBAR & KEY
9. WALL W2E ASSEMBLY:  
1/2" CEMENT BOARD AT EXPOSED FOAM EXTERIOR  
6" POURED 24MPA ICF FOUNDATION WALL  
1/2" GYPSUM WALL BOARD, TAPED & SANDED  
22" X 8" POURED 24MPA CONCRETE FOOTING C/W 2 RUNS CONTINUOUS 10M REBAR & KEY

## WALL ASSEMBLIES (CONT.)

### W3 INTERIOR WALLS

10. WALL W3A ASSEMBLY:  
1/2" GYPSUM WALL BOARD  
NON-LOAD BEARING 2X4 STUD WALL  
1/2" GYPSUM WALL BOARD, TAPED & SANDED
11. WALL W3B ASSEMBLY:  
1/2" GYPSUM WALL BOARD, TAPED & SANDED  
LOAD BEARING 2X6 STUD WALL  
1/2" GYPSUM WALL BOARD, TAPED & SANDED
12. WALL W3C ASSEMBLY:  
1/2" GYPSUM WALL BOARD, TAPED & SANDED  
SAFE'N'SOUND INSULATED LOAD BEARING 2X6 STUD WALL  
1/2" GYPSUM WALL BOARD, TAPED & SANDED

### W4 FIRE RATED WALLS

13. WALL W4A ASSEMBLY:  
5/8" TYPE-X GYPSUM, TAPED & SANDED  
SAFE'N'SOUND INSULATED NON-LOAD BEARING 2X4 STUD WALL  
5/8" TYPE-X GYPSUM, TAPED & SANDED
14. WALL W4B ASSEMBLY:  
5/8" TYPE-X GYPSUM, TAPED & SANDED  
SAFE'N'SOUND INSULATED LOAD BEARING 2X6 STUD WALL  
5/8" TYPE-X GYPSUM, TAPED & SANDED
15. WALL W4C ASSEMBLY:  
5/8" TYPE-X GYPSUM, TAPED & SANDED  
R20 INSULATED LOAD BEARING 2X6 STUD WALL  
6 MIL POLY VAPOUR BARRIER  
1/2" GYPSUM WALL BOARD, TAPED & SANDED

## FIRE SEPARATIONS & PREVENTION

1. ANY PENETRATIONS LESS THAN 1" DIAMETER THROUGH 5/8" TYPE-X GYPSUM MUST BE SEALED W/ INTUMESCENT CAULKING. LARGER PENETRATIONS MUST ALSO BE FITTED WITH AN INTUMESCENT SLEEVE PER OBC .....
2. ANY WALLS PENETRATING 5/8" TYPE-X GYPSUM CEILING BOARD MUST BE WALL ASSEMBLY W4A OR W4B.
3. ALL WALLS BETWEEN GARAGE AND LIVING SPACE TO BE W4C EXCEPT AS NOTED.
4. ALL INTERIOR WALLS BETWEEN SEPARATE RESIDENCES TO BE W4A EXCEPT AS NOTED.
5. SMOKE/STROBE & SMOKE/STROBE/SOUND ALL TO BE HARD WIRED, INTERCONNECTED W/ BATTERY BACKUP.
6. SMOKE DUCT DETECTOR IN RETURN AIR OF FURNACE THAT UPON ACTIVATION WILL SHUT DOWN FURNACE PER OBC 9.10.18.5 (1).
7. ALL SUPPLY AIR DUCTS TO BE GALVANIZED STEEL AND MEET MINIMUM COMBUSTION REQUIREMENTS PER OBC 9.10.13.13.
8. DOORS SEPARATING GARAGE AND LIVING SPACE TO BE 20 MINUTE FIRE RATED, SELF CLOSING & AIR SEALED UNLESS OTHERWISE NOTED.
9. CHIMNEY FLUE TO EXTEND ABOVE HIGHEST ROOF CONTACT POINT BY 2'-6" AND ABOVE HIGHEST ROOF SURFACE WITHIN 10'-0" BY 1'-8" PER OBC. 9.21.4.4.

ULTIMATE  
SHACK



Architectural  
Design  
Group

705.888.1004

BC IN

REVISION

0

2021-12-12

ORENCZUK  
RESIDENCE

SCALE

5/32"=1'

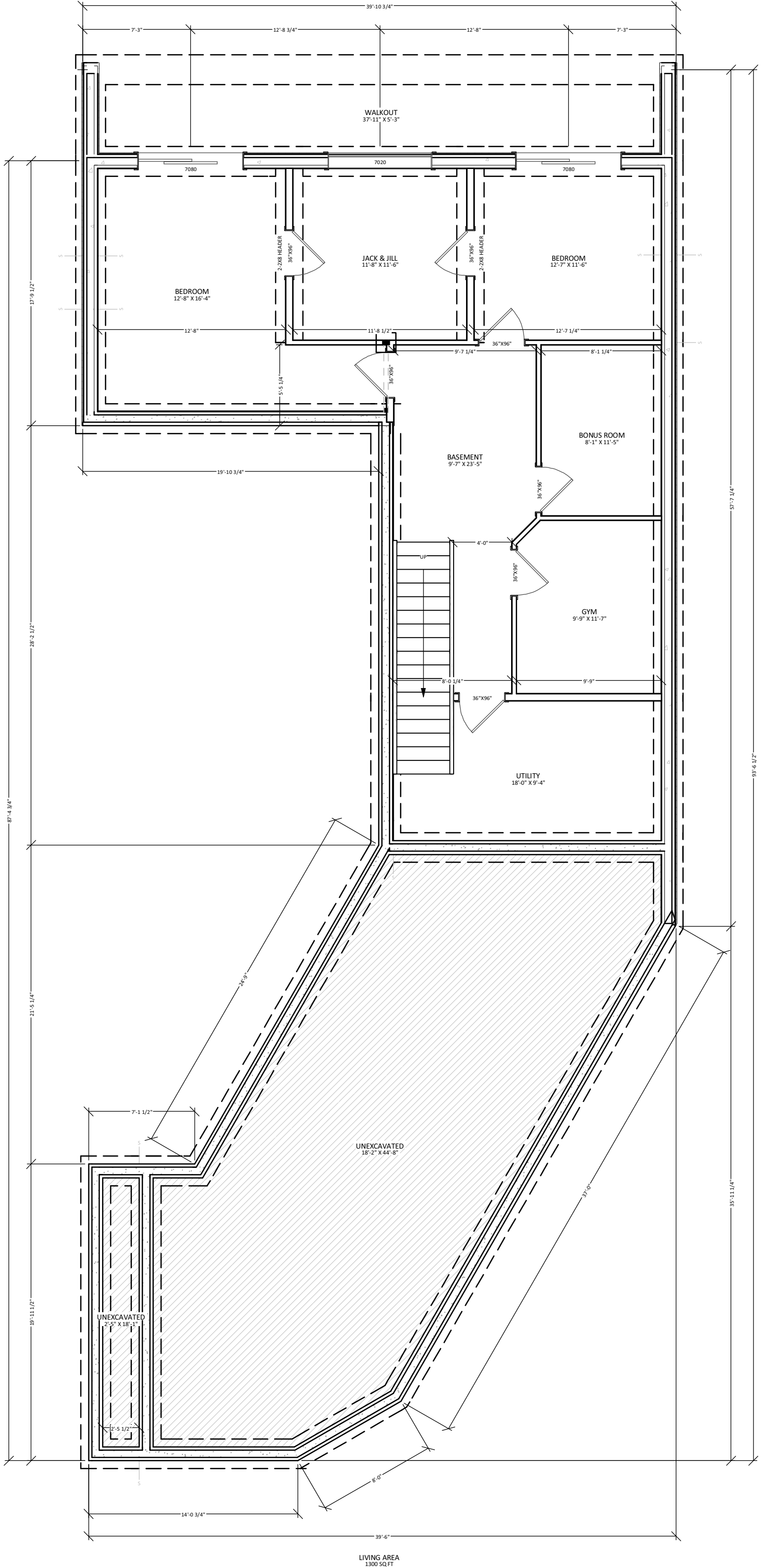
[EXCEPT AS NOTED]

GENERAL NOTES

SHEET

2

7



B C I N

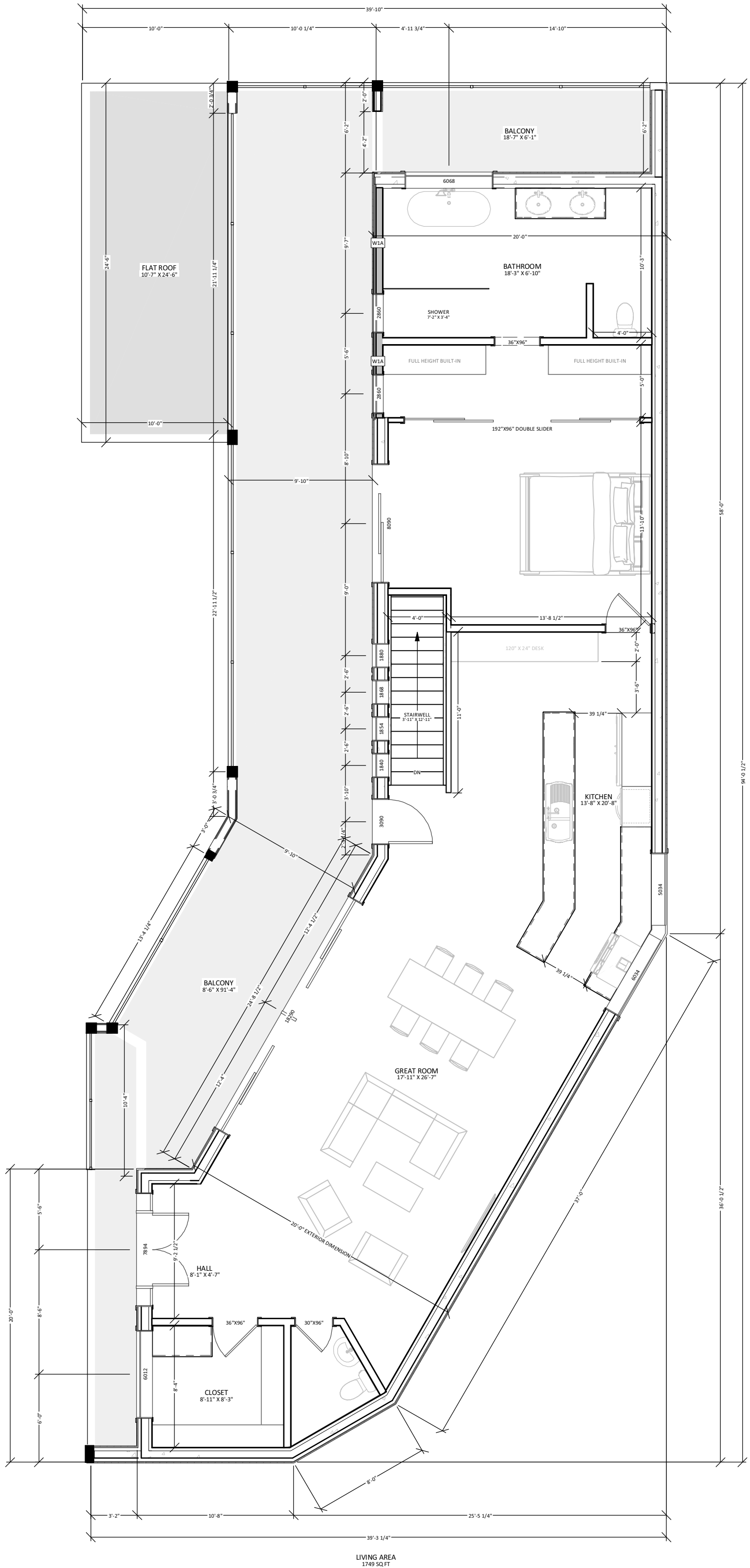
REVISION

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2021-12-12

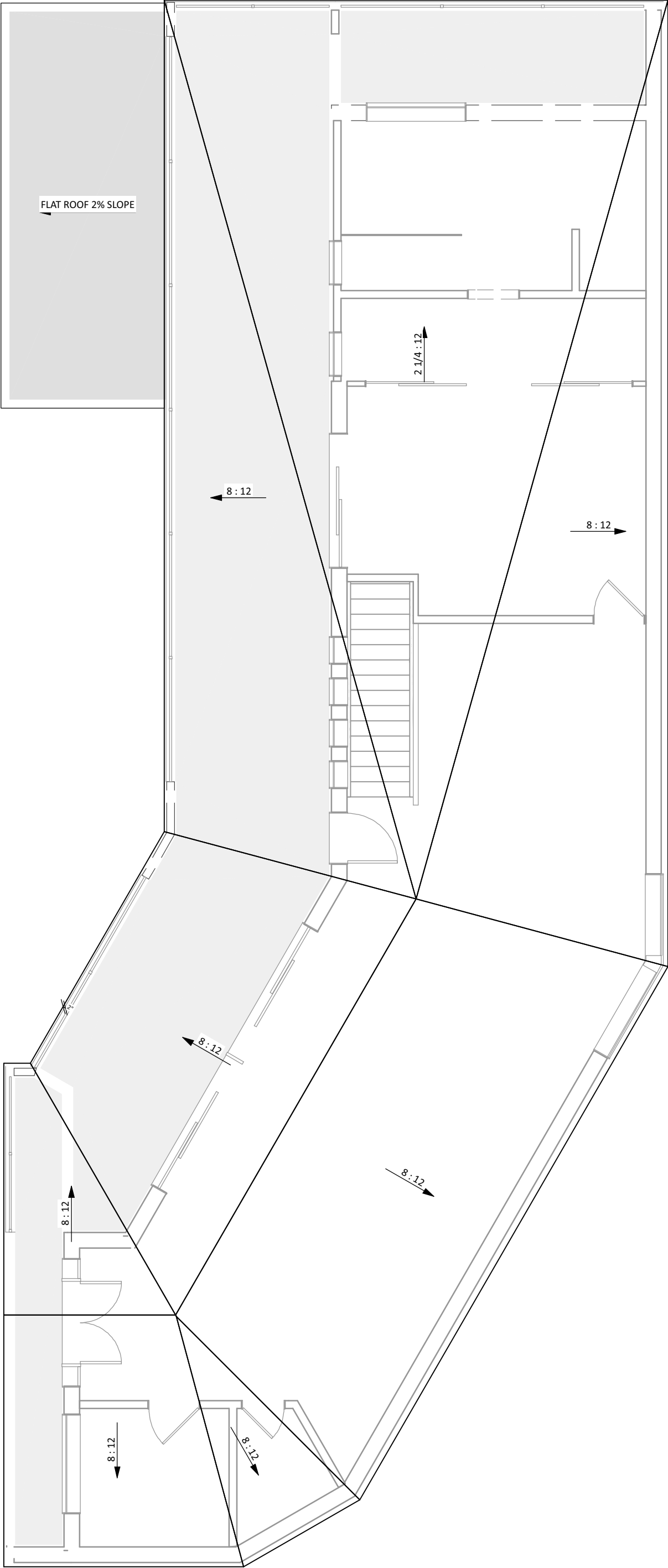
ORENCZUK  
RESIDENCE

SCALE  
5/32"=1'  
[EXCEPT AS NOTED]

FOUNDATION PLAN







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SCALE

5/32"=1'

[EXCEPT AS NOTED]

ROOF PLAN

SHEET

5

7

WEST ELEVATION

SCALE: 5/32 in = 1 ft



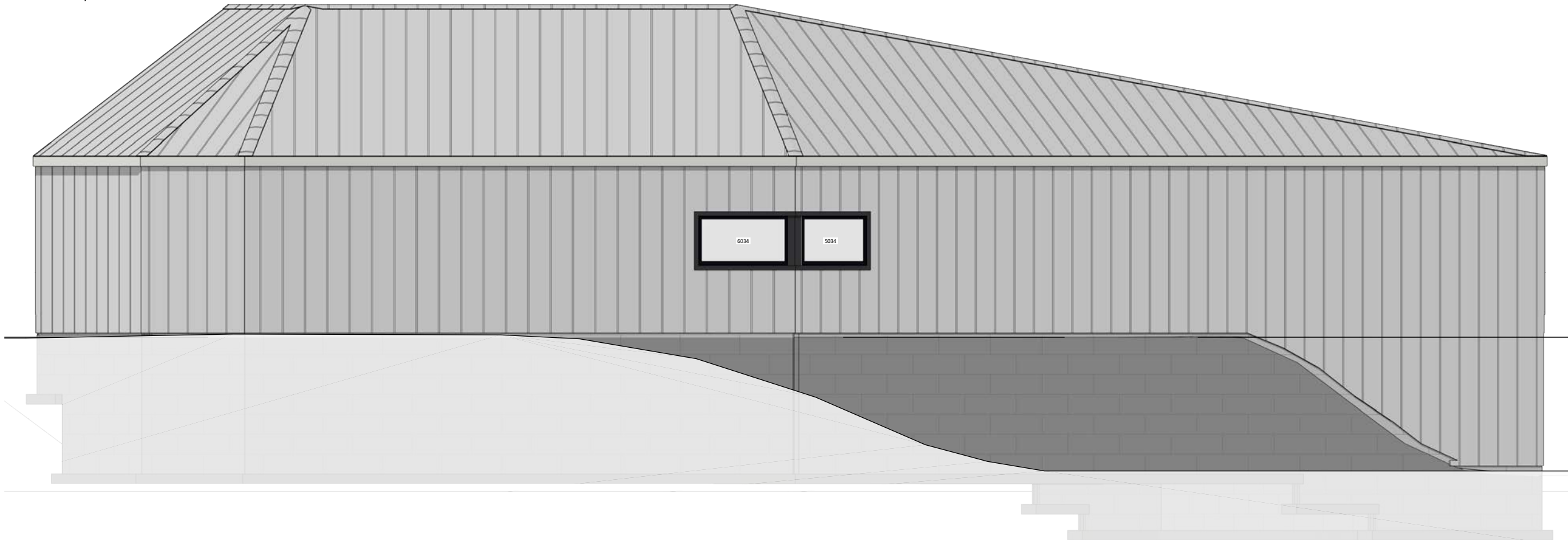
NORTH ELEVATION

SCALE: 1/8 in = 1 ft



SOUTHEAST ELEVATION

SCALE: 1/8 in = 1 ft



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[EXCEPT AS NOTED]

ELEVATIONS

SHEET

6

7





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RESIDENCE

SCALE  
5/32"=1'  
[EXCEPT AS NOTED]

FEATURE RENDERINGS