

February 4, 2022

Via Email

County of Grey Planning and Development
Grey Sauble Conservation Authority
Historic Saugeen Metis
Metis Nation of Ontario ,
Town of The Blue Mountains Planning & Building Services Dept

REQUEST FOR COMMENTS

FILE NUMBER: G/R/2021-2022/708

APPLICANT: Rowan O'Grady
OWNER: Same as Applicant

LOCATION: Part Lot 18, Concession 5
Town of the Blue Mountains, County of Grey
ARN 424200000517905

RELATED FILES: G/R/1989-1990/9309

PROPOSED DEVELOPMENT:

- To undertake the following on an existing vacant 3.2 ha (8 ac) lot:
- To construct a two-story $\pm 390.2 \text{ m}^2$ ($\pm 4200 \text{ ft}^2$) single-family dwelling including walkout, having a maximum height of $\pm 12 \text{ m}$ ($\pm 39.5 \text{ ft}$).
 - Construct a stone patio 441.9 m^2 ($1,450 \text{ ft}^2$)
 - Install an on-site sewage disposal system and drilled well,
 - Construct an in-ground geothermal system.
 - Install a fixed, base-mounted solar panel measuring 16 ft high by 24 ft wide,
 - Install a buried hydro power line,
 - Construct 1300.6 m^2 ($\pm 14000 \text{ ft}^2$) gravel driveway and parking area, and
 - Install a new culvert at the entrance as per the design standards of the municipality.
-

The attached Development Permit application, which is summarized above, is being sent to you for your review. Your comments and recommendations are requested for the Niagara Escarpment Commission's consideration.

We would appreciate receiving your comments via email to necowensound@ontario.ca by: **March 4, 2022**. If we do not receive your comments by this date, we will assume you have no objection to this proposal. If you require additional time to provide comments, please notify us at least one week prior to this date.

If you require further information, please contact Judy Rhodes-Munk at judy.rhodes-munk@ontario.ca

FILE # G/R/2021-2022/708

(For NEC office use only)



NIAGARA ESCARPMENT DEVELOPMENT PERMIT APPLICATION

(FMS #D113 - Revised August 15, 2019)

THE NIAGARA ESCARPMENT PLANNING AND DEVELOPMENT ACT, RSO, 1990, AS AMENDED

NIAGARA ESCARPMENT COMMISSION

232 Guelph Street, 3rd Floor
Georgetown, ON L7G 4B1

Phone: 905-877-5191

Fax: 905-873-7452

Website: www.escarpment.org

Email: necgeorgetown@ontario.ca

Serving the areas of:

Dufferin County (Mono)
Region of Halton
Region of Peel
Region of Niagara
City of Hamilton

NIAGARA ESCARPMENT COMMISSION

1450 7th Avenue
Owen Sound, ON N4K 2Z1

Phone: 519-371-1001

Fax: 519-371-1009

Website: www.escarpment.org

Email: necowensound@ontario.ca

Serving the areas of:

Bruce County
Grey County
Simcoe County
Dufferin County (Mulmur, Melancthon)

- * Please ensure that the information you provide in this application is complete and accurate.
- * Incomplete or inaccurate information will delay the processing of your application.
- * Please contact your local Commission office if you have any questions about your proposal or this application.

1. OWNER (Required)

Name: ROWAN OGRADY

Mailing Address: 15 WEATHERELL ST.

Street/P.O. Box

TORONTO

City/Town

ON

Province

M6S 1S6

Postal Code

Phone: 416 666 7270 E-mail: rowanogrady101@yahoo.com

2. APPLICANT or AGENT (if applicable)

Name: _____

Mailing Address: _____

Street/P.O. Box

City/Town

Province

Postal Code

Phone: _____ E-mail: _____

3. PROPERTY LOCATION & INFORMATION

Municipality: TOWN OF BLUE MOUNTAINS Civic/Street Address #: PART 2 5th LINE

(Fire/Emergency #)

Lot: PART LOT 18 Concession: 5 and/or Lot: _____ Plan: 16R4184

Assessment roll number or PIN: 424200000517905 Lot Size: 8.02 ACRES

Date the property was purchased or future date of purchase: MARCH 17th 2021

4. PROPERTY SERVICING

Existing Road Frontage: ☒ Municipal ☐ Private
Existing Water Supply: ☐ Municipal ☒ Private
Existing Sewage Disposal: ☐ Municipal ☒ Private

Proposed Road Frontage: ☒ Municipal ☐ Private
Proposed Water Supply: ☐ Municipal ☒ Private
Proposed Sewage Disposal: ☐ Municipal ☒ Private

5. EASEMENTS, COVENANTS, AGREEMENTS

Describe the type and terms of any easements, right-of-ways, covenants, agreements or other restrictions registered on or affecting the title of the property and/or attach a copy:

N/A

6. EXISTING & PROPOSED DEVELOPMENT

Note: "Development" includes the construction of buildings and structures, alterations to the landscape, (e.g: placing fill, drainage alterations, pond construction or alteration), any change of use or new use (e.g: residential to commercial, new home business, etc.). If additional space is required, please include a separate attachment.

Briefly Describe the current use of the property and any existing buildings, structures, or alterations to the landscape:

ZONING: ESCARPMENT RURAL
'VACANT' RESIDENTIAL / COMMERCIAL / INDUSTRIAL LAND
FARMED WITH SEASONAL ROTATIONAL CROPS

Briefly Describe any proposed changes to the use of the property and any proposed new buildings, structures, or alterations to the landscape:

PROPOSED - 2,800 SQ. FT. S.F.D.
- INGROUND SEPTIC SYSTEM
- " GEO-THERMAL HEATING SYSTEM
- GRAVEL DRIVEWAY (MIN CHANGE IN TOPOGRAPHY.)

Note regarding Sections 7-14:

Depending on the type or nature of the proposed development and/or the characteristics of the property, supporting information such as Environmental Impact Studies, Landscape Plans, Lighting Plans, Visual Assessments, Grading Plans, Erosion Control Plans, Slope Stability Studies, etc., may be required in support of the following information.

7. LOT CREATION

N/A

If this application involves the creation / severance of a new lot, please provide the following information:

i) Existing Lot:	ii) Proposed Lot:	iii) Retained Lot:	iv) Use of new Lot
Frontage _____	Frontage _____	Frontage _____	<input type="checkbox"/> Agricultural
Depth _____	Depth _____	Depth _____	<input type="checkbox"/> APO
Size _____	Size _____	Size _____	<input type="checkbox"/> Commercial
			<input type="checkbox"/> Conservation
			<input type="checkbox"/> Industrial
			<input type="checkbox"/> Lot Addition
			<input type="checkbox"/> Recreational
			<input type="checkbox"/> Residential

8. CONSTRUCTION DETAILS

PLEASE NOTE

Ground Floor Area: The total exterior measurements of any building, including attached garages and enclosed decks (as applicable).

Total Floor Area: Is based on the exterior measurements of the building and includes the total of the ground floor area (including attached garages, etc), plus walkout basements, plus full or half second storeys, etc.

Maximum Height: is measured from the lowest grade (e.g., walkout side), to the peak of the roof.

Please provide a description of all existing and proposed development in the following fields:

Use of Structure	Existing, Proposed, or to be Demolished	Ground Floor Area (footprint)	Total Floor Area (all storeys and walkouts)	# of Storeys	Maximum Height (lowest grade to peak)
S.F.D.	PROPOSED	1,400 sq.ft.	4,200 sq.ft.	2	39'-7"

Amount of fill to be imported to facilitate the proposed development (if required): CLEAN SAND BACKFILL

9. ACCESSORY FACILITIES, STRUCTURES, FILLING, GRADING, UTILITIES, INFRASTRUCTURE etc.

(e.g: Driveways, Decks, Gazebos, Swimming Pools, Tennis Courts, Lighting, Signs, Wind Turbines, Solar Panels, Hydro Poles/Lines, Retaining Walls, Placement of Fill, Cutting and Filling, Grading, Berms, Parking Areas, Tree/Site Clearing, etc.) (See next page for Ponds)

Describe and provide information such as: dimensions, size, height, amount of fill etc.

GRAVEL DRIVEWAY - 14,000 sq ft.

" PARKING AREA - 3,600 sq ft.

SOLAR PANELS - FIXED BASE MOUNTED - 16'H. x 24'W.

CUT & FILL FOR WALK-OUT FOUNDATION (MATERIAL KEPT ON SITE)

NO IMPORTED FILL FOR GRADING, NO TREE CLEARING.

10. HOME BUSINESS, CHANGE OF USE, NEW USE

(e.g): Establishing a **Home Business, Home Occupation, Home Industry** or **Bed and Breakfast** business.
Converting or changing the use or establishing a new use on a property or within any dwelling building or structure on a property.)

Describe the proposed business or new use and provide information such as:

Type of business or use, size or area of building &/or land to be occupied or altered by the use, construction or alteration details, number of employees, access, parking, storage details, sales, hours of operation, signage, etc.

N/A.

Note: A separate, detailed, business overview or plan should be provided.

11. PONDS – NEW POND / EXISTING POND WORK – DREDGING, MAINTENANCE, REPAIR etc.

The following information is the minimum information that is required for pond construction or alteration/maintenance. Generally, a hydrology/hydrogeology report and/or an environmental impact assessment is also required.

Pond is: ☐ Proposed ☐ Existing
Use of Pond: ☐ Recreation ☐ Irrigation/farm ☐ Other _____
Water Source: ☐ Offline (Precipitation/run-off) ☐ Online (stream, groundwater)
Size of Pond: Water Surface Area _____ Depth of Water _____

Provide a description of the proposed pond related development:

N/A

Note: Additional construction details including inflow, outflow, emergency outflow, spillway details, type of construction, height and width of banks, erosion/sediment control measures, placement of excavated materials, and finished grading and landscaping should be shown on the submitted site plan and building details.

12. AGRICULTURAL DEVELOPMENT

Indicate and describe if your proposal involves agricultural land or uses such as:

On-farm Diversified Uses, Agricultural Related Uses, Dwelling Units Accessory to Agricultural Uses, New Dwelling in Agricultural Areas (near barns – MDS I), Livestock Facilities (MDS II), Equestrian Facilities (arenas, riding rings, events), Farm Ponds, Winery and Winery Events, 'Agricultural Purposes Only' (APO) lot creation:

N/A

Note: Additional detailed information may be required.

13. RADIO OR TELECOMMUNICATIONS FACILITY IN THE AREA OF THE NIAGARA ESCARPMENT PLAN

Provide a detailed description of the radio or telecommunications proposal including construction details/building plans and elevations (Please use additional pages or attachments as required):

N/A

Provide a justification and rationale, including reasons, argument and evidence in support of the radio

Note: This information in Section 13 is being collected in accordance with the Niagara Escarpment Commission's Consultation Protocol for Radiocommunication and Broadcasting Antenna Systems in the Niagara Escarpment Plan Area. A site visit to the property may be conducted to review this proposal, with notice to the applicant, in order to provide advice to Industry Canada on new radio and telecommunications facilities.

14. OTHER INFORMATION

Provide any additional information to clarify your proposal may be submitted here or on a separate attachment:

PLEASE SEE ATTACHED 'SITE PLAN' FOR
PLOT PLAN
PLANTING PLAN
SERVICES LOCATE
DEVELOPMENT AREA

15. SIGNATURES

Personal information (i.e., name, address, phone, email) is being collected under the authority of the *Niagara Escarpment Planning and Development Act, RSO, 1990, as amended*, and will be used to process this application, which will include site visit, notifications, and in some cases appeals and hearings. Questions regarding the collection and use of this personal information should be directed to the Manager, Administration at the Georgetown Office phone, email and mailing address set out on the front page of this application form.

By signing this application form below, I consent to the collection of my personal information. This application cannot be processed without the required signatures as set out below.

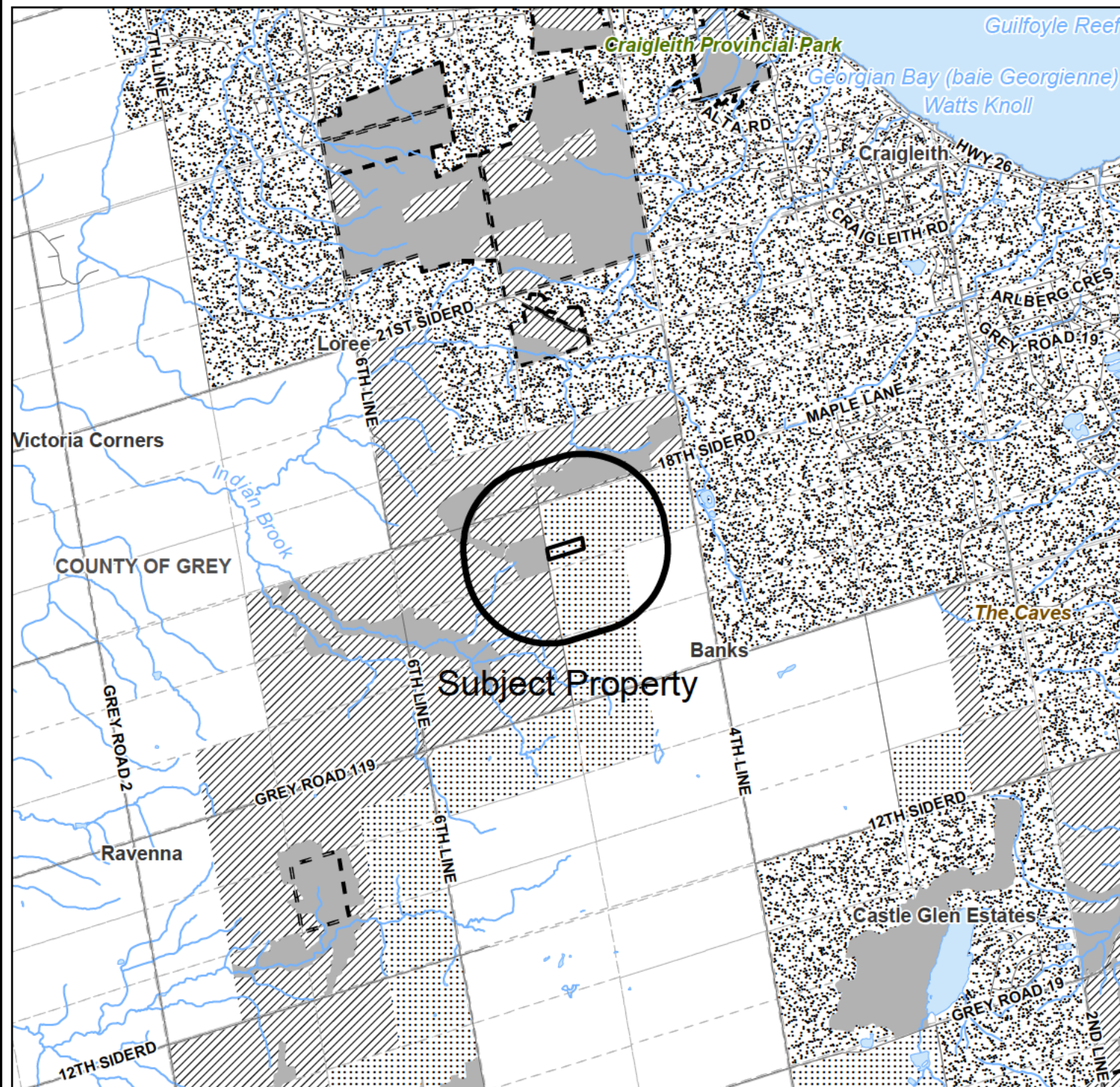
I CERTIFY THAT THIS STATEMENT IS TRUE AND CORRECT

OWNER(S):
(Required)

APPLICANT(S) or AGENT(S)
(if different from owner)

DATE:

DATE:



Map 1A Niagara Escarpment Plan

CON 5 PT LOT 18 RP 16R4184

File: G/R/2021-2022/708

- Subject Property
- Geographic Names
- Plan Designations**
 - Escarpment Natural Area
 - Escarpment Protection Area
 - Escarpment Rural Area
 - Escarpment Recreation Area
 - Public Land (in Parks and Open Space System)
 - Roads
 - Waterbodies
 - Watercourse
 - Upper Tier Municipality
 - Lot and Concession Boundary

NOTE: The Niagara Escarpment Plan Designation boundaries shown on this map are approximate and subject to confirmation through site inspection and the application of the "Interpretation of Boundaries" section of the Niagara Escarpment Plan.

Scale 1:50,000
0 380 760 1140 1520

Metres

Printed on Jan 19, 2022

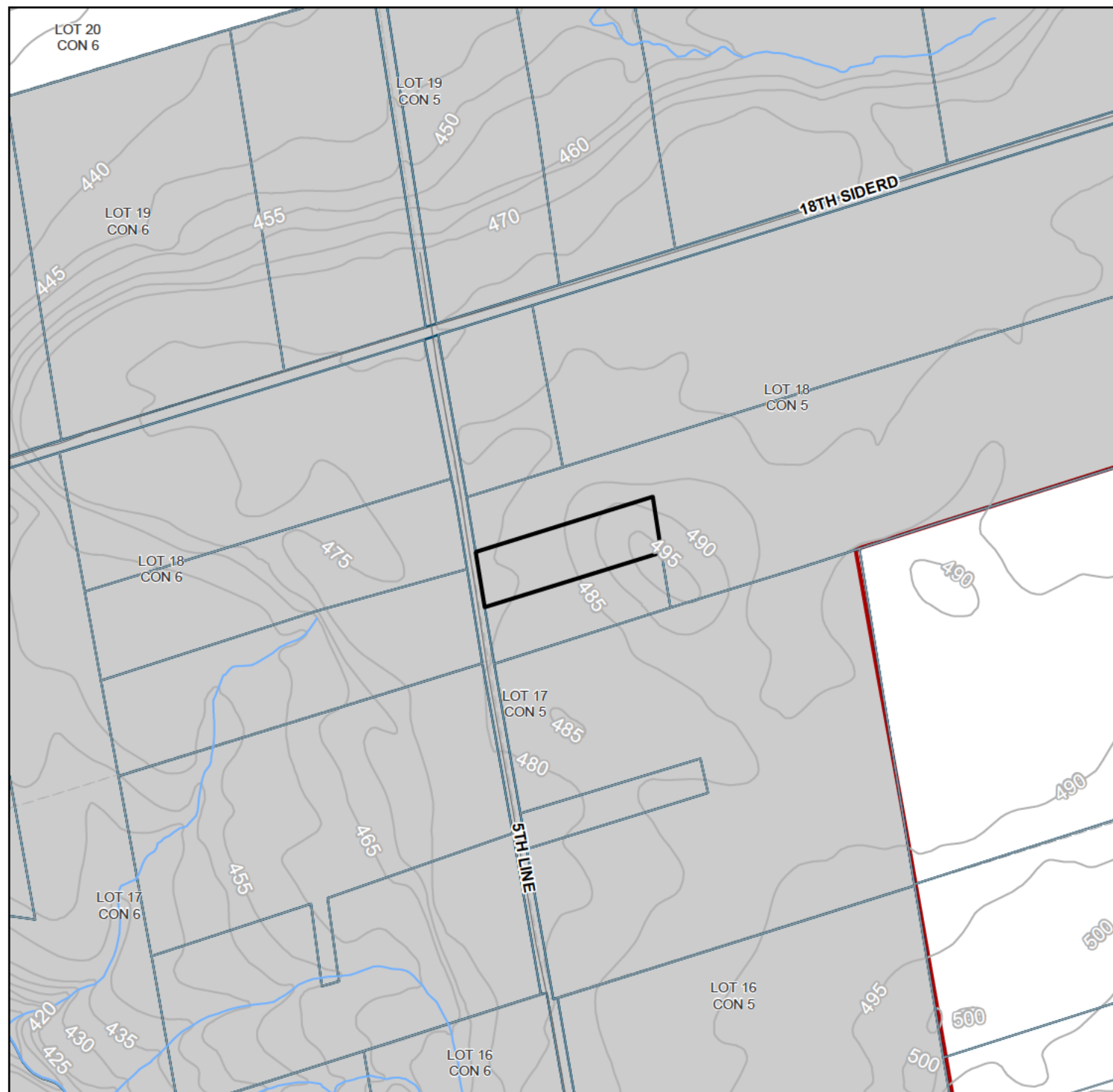
THIS IS NOT A PLAN OF SURVEY.
This map is illustrative only. Do not rely on it as being a precise indicator of routes, location of features, nor as a guide to navigation. Base derived from various sources.
Map compiled and produced by the Geographic Information Systems
(GIS) Department of the Niagara Escarpment Commission,
Ministry of Natural Resources

Ontario



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Map 2 - Development Control

Lot Configuration

CON 5 PT LOT 18 RP 16R4184

File: G/R/2021-2022/708

- Subject Property
- Geographic Names
- Niagara Escarpment Plan Area
- Area of Development Control
- Roads
- Watercourse
- Contour (5 metre intervals)
- Upper Tier Municipality
- Lot and Concession Boundary
- Parcel Boundary
- Ownership Boundary

Area of Development Control Drawn for Convenience Only. Refer to the appropriate Ontario Regulation for an accurate interpretation of the Development Control Area.

Scale 1:10,000

0 75 150 225 300

Metres

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






Map 2C

Orthophoto

CON 5 PT LOT 18 RP 16R4184

File: G/R/2021-2022/708

-  Subject Property
-  Geographic Names
-  Roads
-  Watercourse
-  Upper Tier Municipality
-  Lot and Concession Boundary
-  Parcel Boundary
-  Ownership Boundary
-  Ontario_Imagery_Service_Extent

Orthophoto Date: 1995-2015

Scale 1:10,000

0 75 150 225 300

Metres

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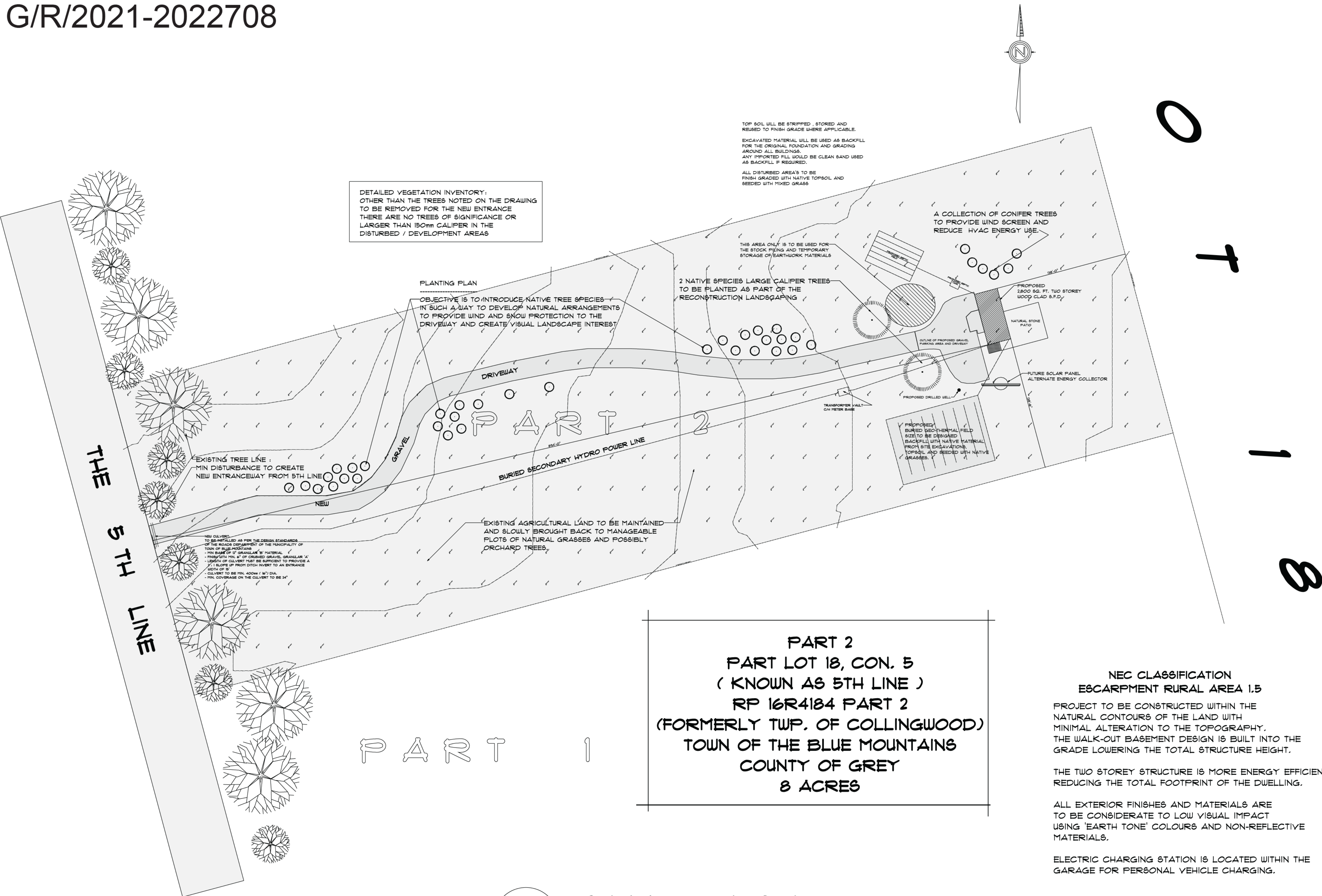
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MAP 3: SITE PLAN
G/R/2021-2022708



NOTES:

DRAWINGS ARE NOT TO BE SCALED.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO N. PITCHER DESIGNS BEFORE PROCEEDING WITH ANY WORK.

ALL WORK MUST COMPLY TO

I) ONTARIO BUILDING CODE, EDITION 2012

II) ELECTRICAL SAFETY AUTHORITY

III) MUNICIPAL BY-LAWS

G/R/2021-2022/708
Map 3

DATE:	REVISIONS
The undersigned has reviewed and takes responsibility for the design activities.	
QUALIFICATION INFORMATION	
Nail Pitcher 24013	
Name Signature BCIN	
REGISTRATION INFORMATION	
N. Pitcher Designs 31683	
Firm Name BCIN	

PART LOT 18, CON. 5
(FORMERLY) COLLINGWOOD TWP.
TOWN OF BLUE MOUNTAINS
COUNTY OF GREY
8 ACRES



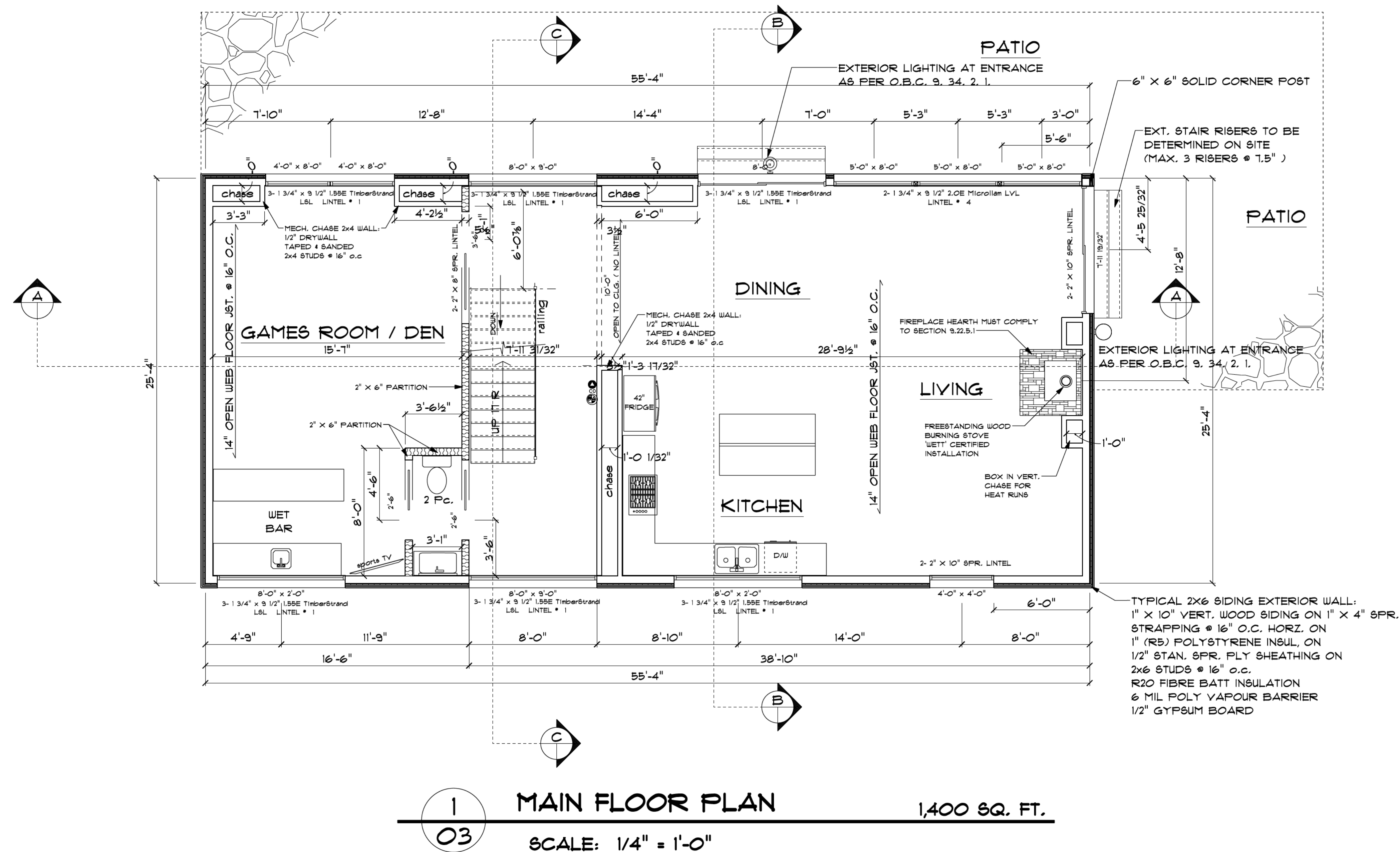
N. Pitcher
Designs

89 Gordon Street
P.O. Box 251
Georgetown, PEI
COA 1L0

Tel. 519-374-7187
npitcherdesigns@bellnet.ca

Registration No. BCIN 24013
M.A.A.T.O. TG 1380

SCALE NTS		DRAWN BY N.E.P
DATE JAN. 11, 2022		REVISED
WORKING DRAWINGS		
SITE PLAN		DRAWING NUMBER O-213/O1



NOTES:

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SB-12 COMPLIANCE PACKAGE
ZONE 1 - TABLE 3.1.1.2.A (1P)
PACKAGE A - 5

G/R/2021-2022/708
Map 3

- SMOKE ALARMS SHALL BE LOCATED WITHIN EACH BEDROOM AND EACH ADJACENT HALLWAY OR SPACE O.B.C. 9.10.19.3 (1) DIV. B
- VISUAL SIGNALLING COMPONENTS SHALL BE LOCATED WHERE EACH SMOKE ALARM IS REQUIRED
- CARBON MONOXIDE DETECTORS SHALL BE LOCATED ADJACENT TO EACH BEDROOM

DATE:	REVISIONS
The undersigned has reviewed and takes responsibility for the design activities.	
QUALIFICATION INFORMATION	
Neil Pitcher	24013
Name	Signature BCIN
REGISTRATION INFORMATION	
N. Pitcher Designs	31683
Firm Name	BCIN

PART LOT 18, CON. 5
(FORMERLY) COLLINGWOOD TWP.
TOWN OF BLUE MOUNTAINS
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M.A.A.T.O. TG 1380

SCALE 1/4" = 1'-0"	DRAWN BY N.E.P
DATE: SEPT. 06/21	REVISED
WORKING DRAWINGS	
MAIN FLOOR PLAN	DRAWING NUMBER O-273/03

NOTES:

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5B-12 COMPLIANCE PACKAGE
ZONE 1 - TABLE 3.1.1.2.A (1P)
PACKAGE A - 5

G/R/2021-2022/708
Map 3

- SMOKE ALARMS SHALL BE LOCATED WITHIN EACH BEDROOM AND EACH ADJACENT HALLWAY OR SPACE OBC. 9.10.19.3 (I) DIV. B
- VISUAL SIGNALLING COMPONENTS SHALL BE LOCATED WHERE EACH SMOKE ALARM IS REQUIRED
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The undersigned has reviewed and takes responsibility for the design activities.	
QUALIFICATION INFORMATION	
Nail Pitcher	24013
Name	Signature BCIN
REGISTRATION INFORMATION	
N. Pitcher Designs	31683
Firm Name	BCIN

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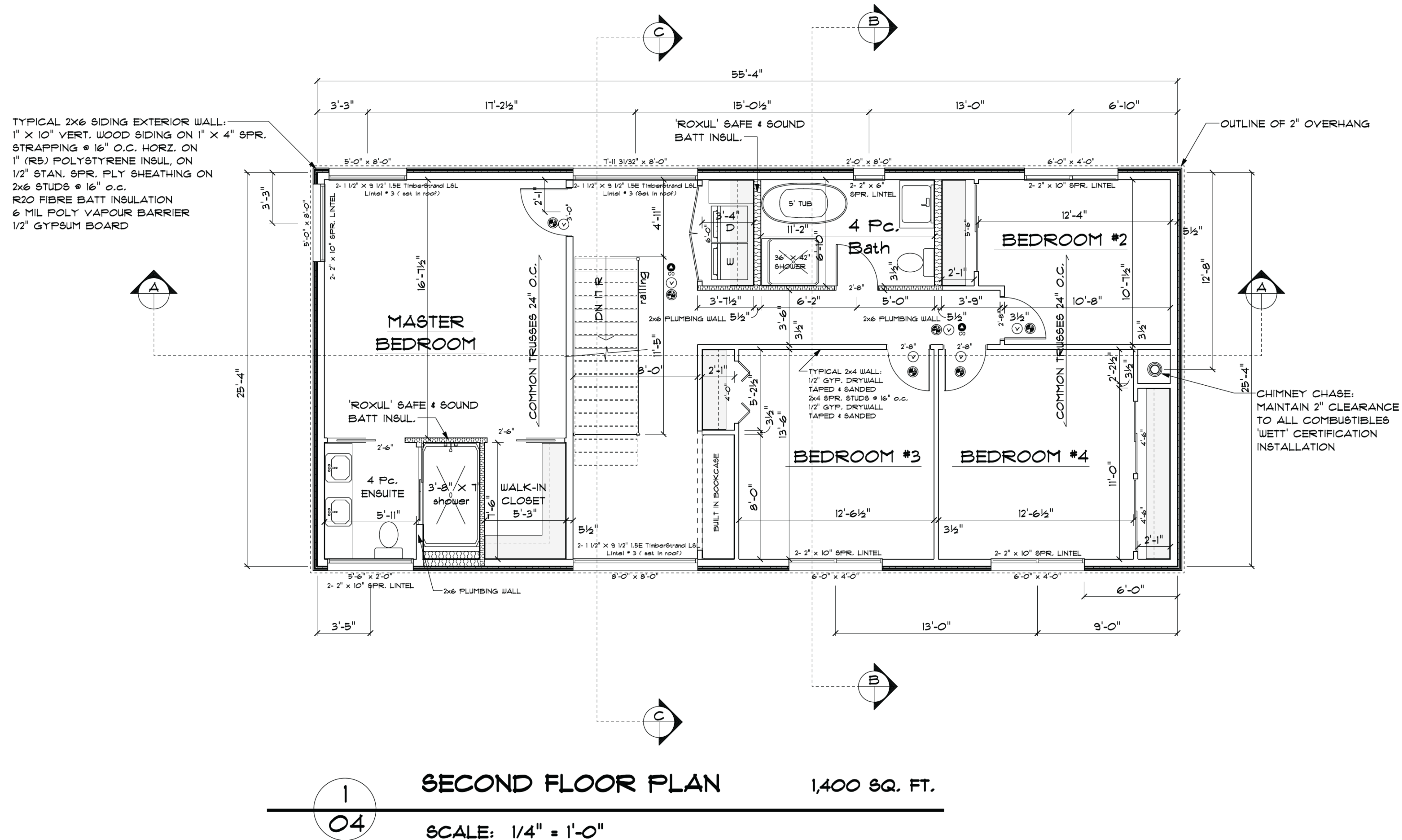
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DATE: SEPT. 06/21	REVISED

WORKING DRAWINGS

SECOND FLOOR PLAN
DRAWING NUMBER
O-2713/04



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ALL WORK MUST COMPLY TO
I) ONTARIO BUILDING CODE, EDITION 2012
II) ELECTRICAL SAFETY AUTHORITY
III) MUNICIPAL BY-LAWS

TYPICAL ROOF:
HI-RIB STYLE METAL ROOFING ON
1" X 4" SPR. STRAPPING @ 16" O.C. ON
1" X 4" SPR. STRAPPING VERT. @ 16" O.C.
CONTIN. ROOFING MEMBRANE ON
1/2" PLYWOOD SHEATHING C/W H CLIPS
PRE-ENGINEERED COMMON TRUSSES @ 24" O.C.

NOTE:
LINTELS WITHIN THE ROOF SYSTEM
TO ALLOW FOR FULL HEIGHT WINDOWS

R-50 FIBRE-BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" GYP. DRYWALL

CONTINUOUS RIDGE VENT

ROOF FLASHING

CLEARANCE TO COMBUSTIBLES
2"
8" BETWEEN DROP GABLE TRUSSES & TRUSS #2
1" BETWEEN TRUSS #2 & TRUSS #3

HEAT SHIELD 'THRU INSUL. CLG.'

TYPICAL 2X6 SIDING EXTERIOR WALL:
1" X 10" VERT. WOOD SIDING ON 1" X 4" SPR.
STRAPPING @ 16" O.C. HORZ. ON
1" (R5) POLYSTYRENE INSUL. ON
1/2" STAN. SPR. PLY SHEATHING ON
2X6 STUDS @ 16" O.C.
R20 FIBRE BATT INSULATION
6 MIL POLY VAPOR BARRIER
1/2" GYPSUM BOARD

HEAT SHIELD 'THRU FLOOR'

MASTER BEDROOM

BEDROOM #3

BEDROOM #4

14" OPEN WEB FLOOR JST. @ 16" O.C.

GAMES ROOM / DEN

KITCHEN

LIVING

14" OPEN WEB FLOOR JST. @ 16" O.C.

MECHANICAL CHASE

1-0"

1/2" G18 FIR PLYWOOD FINISH

PROVIDE MECHANICAL CHASE THRU GARAGE CEILING. COVER WITH 5/8" TYPE 'X' GYP. DRYWALL TAPE AND SAND. 1/2" G18 FIR PLYWOOD FINISH

R-32 'ROXUL' BATT INSUL. 6 MIL POLY. 5/8" TYPE 'X' GYP. DRYWALL TAPE & SANDED

SINGLE CAR GARAGE

1/2" G18 FIR PLYWOOD FINISH

SEAL TO FLOOR

4" MIN. 28 MPa POURED CON'C. SLAB (OPTIONAL) RADIANT IN FLOOR HEATING MIN. R10 (2") RIGID FOAM INSUL. 6" CRUSHED STONE ON COMPACTED BACKFILL OR UNDISTURBED SOIL

TV ROOM

EXERCISE ROOM

6 MIL POLY. VAP. BARR. ON 2" X 4" SPR. STUDS @ 16" O.C. R12 'FIBRE' BATT INSUL. ON 1" (R5) 'RIGID' POLYSTYRENE INSUL BOARD TAPE ALL JOINTS AND SEAL TO CON'C. SLAB

8" POURED CON'C. FND. WALL ON 24" X 8" CONTIN. POURED CON'C. FOOTING C/W 2 RUNS OF 15M BAR

2-COAT BITUMINOUS DAMPPROOFING
CONTIN. FOUNDATION WRAP TO COVER FOOTINGS
4" DIA. PERF. WEEDING TILE (FILTERED)
COVER WITH MIN. 6" CRUSHED CLEAN STONE

TYPICAL 2X6 INTERIOR GARAGE WALL:
5/8" TYPE 'X' FIBERGLASS DRYWALL
TAPED & SANDED
1" (R5) RIGID POLYSTYRENE INSUL.
TAPE ALL SEAMS AND SEAL TO FLOOR
2"x6" SPR. STUDS @ 16" O.C.
R 20 FIBRE BATT INSULATION
6 MIL POLY VAP. BARR.
1/2" DRYWALL - TAPE AND SANDED

CROSS SECTION 'A'

SCALE: 1/4" = 1'-0"

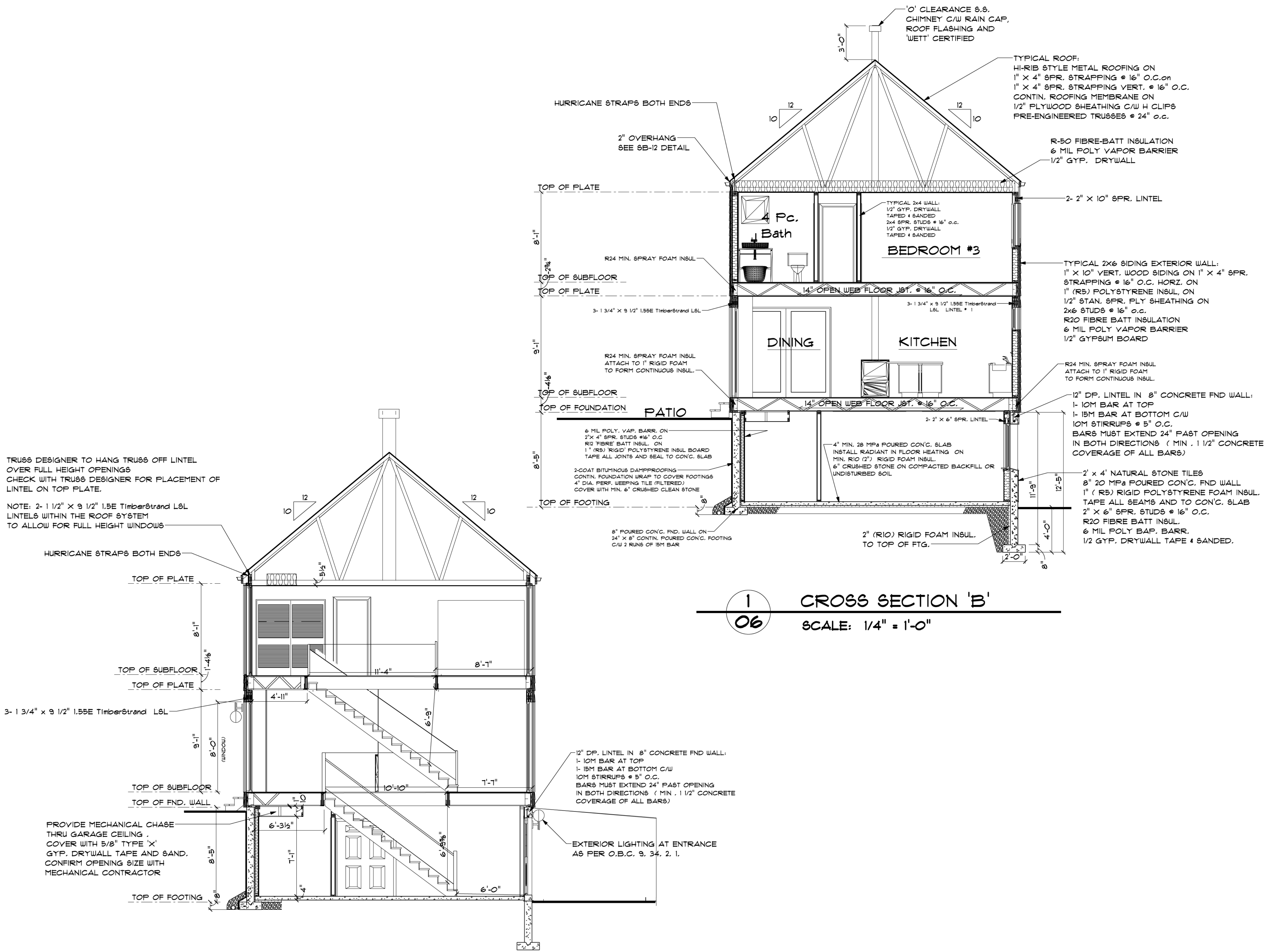
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8 ACRES



SCALE 1/4" = 1'-0"		DRAWN BY N.E.P
DATE: SEPT. 06/21		REVISED

CROSS SECTION 'A'

DRAWING NUMBER	0-273/05
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III) MUNICIPAL BY-LAWS

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Name	Signature BCIN
REGISTRATION INFORMATION	
N. Pitcher Designs	31683
Firm Name	BCIN

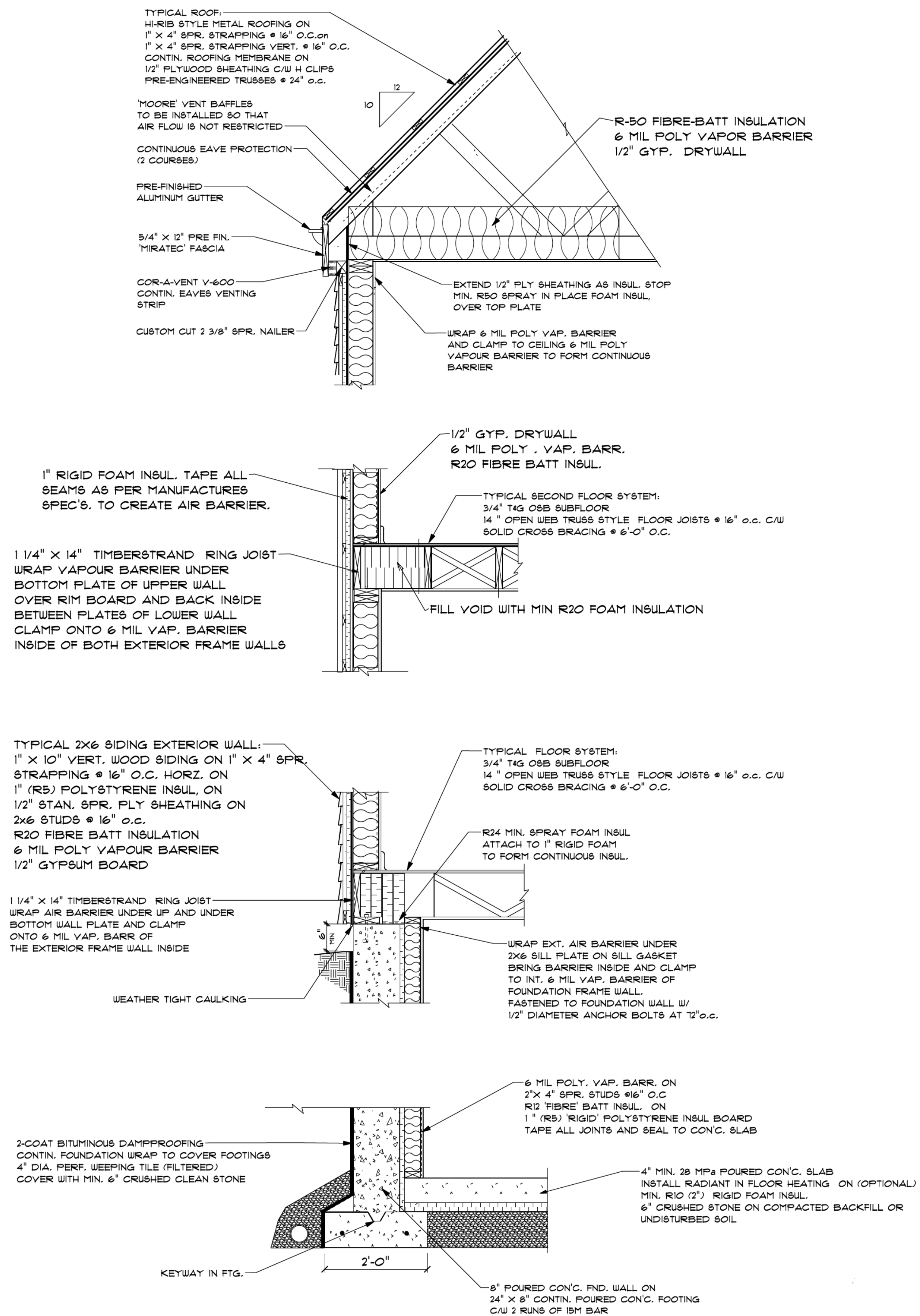
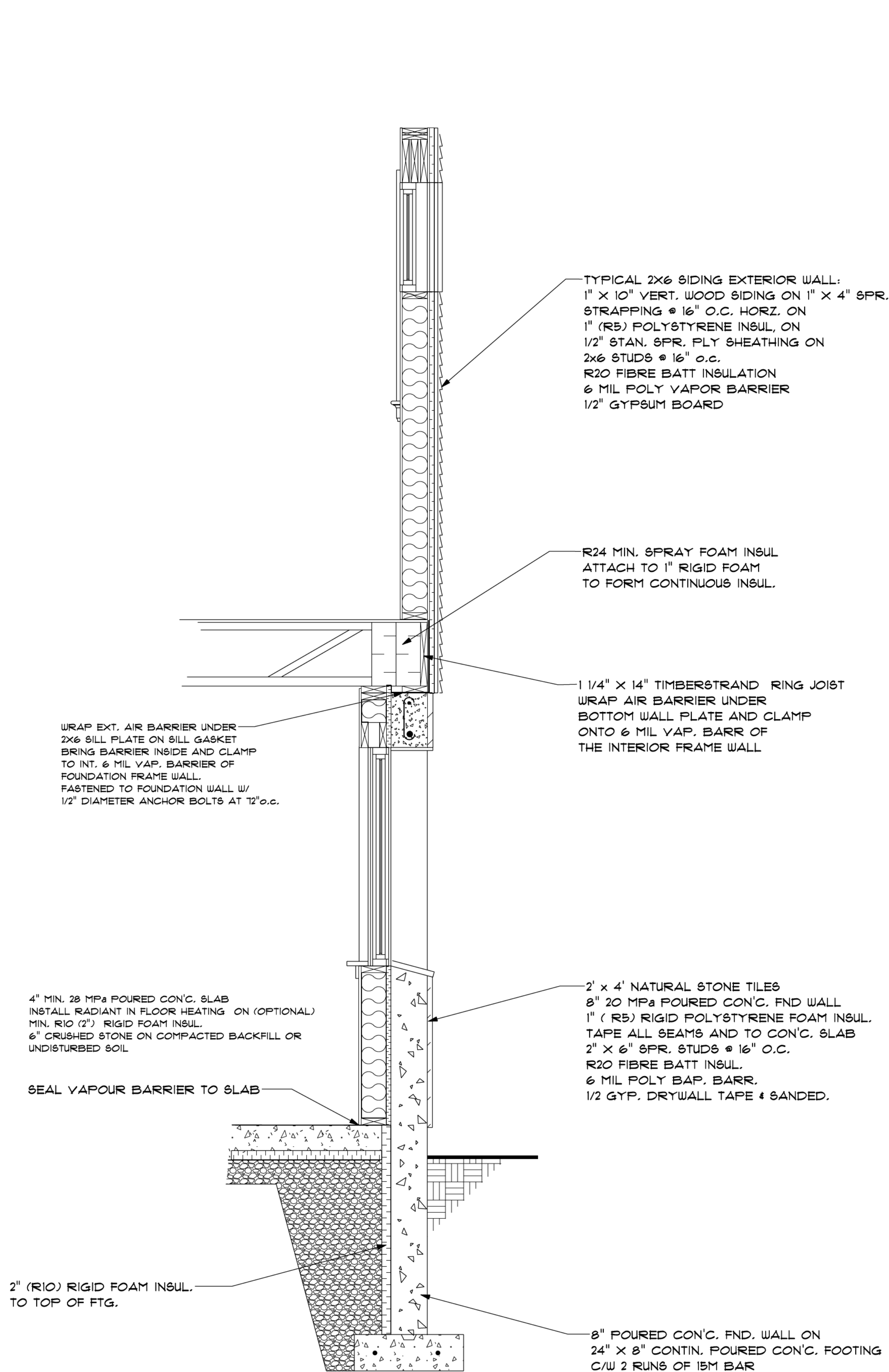
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SCALE 1/4" = 1'-0"	DRAWN BY N.E.P
DATE: SEPT. 06/21	REVISED
WORKING DRAWINGS	
CROSS SECTION 'B' & 'C'	DRAWING NUMBER 0-273/06



NOTES:

DRAWINGS ARE NOT TO BE SCALED.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND
REPORT ANY DISCREPANCIES TO N. PITCHER DESIGNS
BEFORE PROCEEDING WITH ANY WORK.

ALL WORK MUST COMPLY TO
I) ONTARIO BUILDING CODE, EDITION 2012
II) ELECTRICAL SAFETY AUTHORITY
III) MUNICIPAL BY-LAWS

G/R/2021-2022/708
Map 3

DATE:		REVIEWS	
<p>The undersigned has reviewed and takes responsibility for the design activities.</p> <p>QUALIFICATION INFORMATION</p> <p>Neil Pitcher 24013</p> <p>Name Signature BCIN</p> <p>REGISTRATION INFORMATION</p> <p>N: Pitcher Designs 31603</p> <p>Firm Name BCIN</p>			

PART LOT 18, CON. 5
(FORMERLY) COLLINGWOOD TWP.
TOWN OF BLUE MOUNTAINS
COUNTY OF GREY
8 ACRES



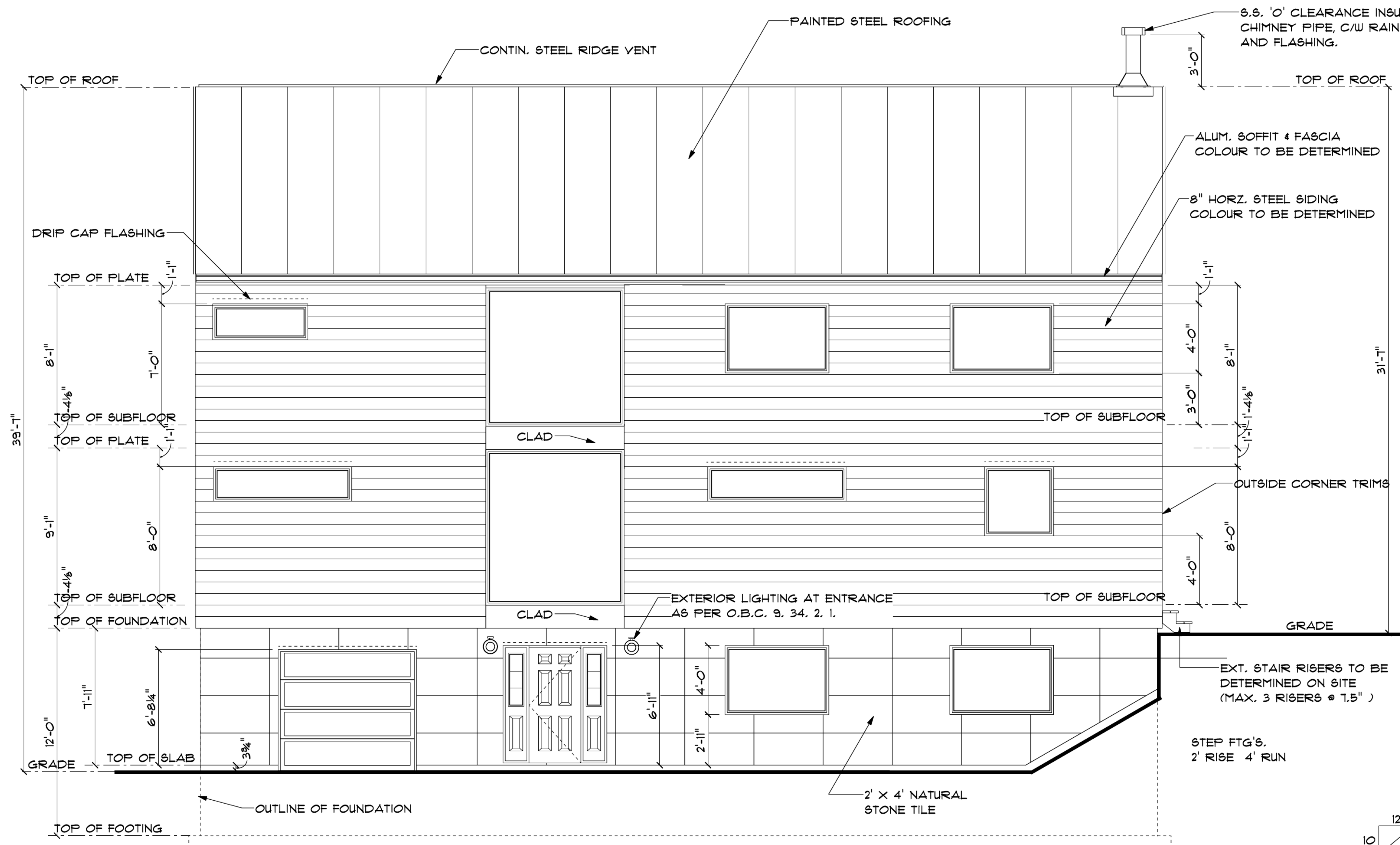
SCALE 3/4" = 1'-0"	DRAWN BY N.E.P
DATE: SEPT. 06/21	REVISED

WORKING DRAWINGS

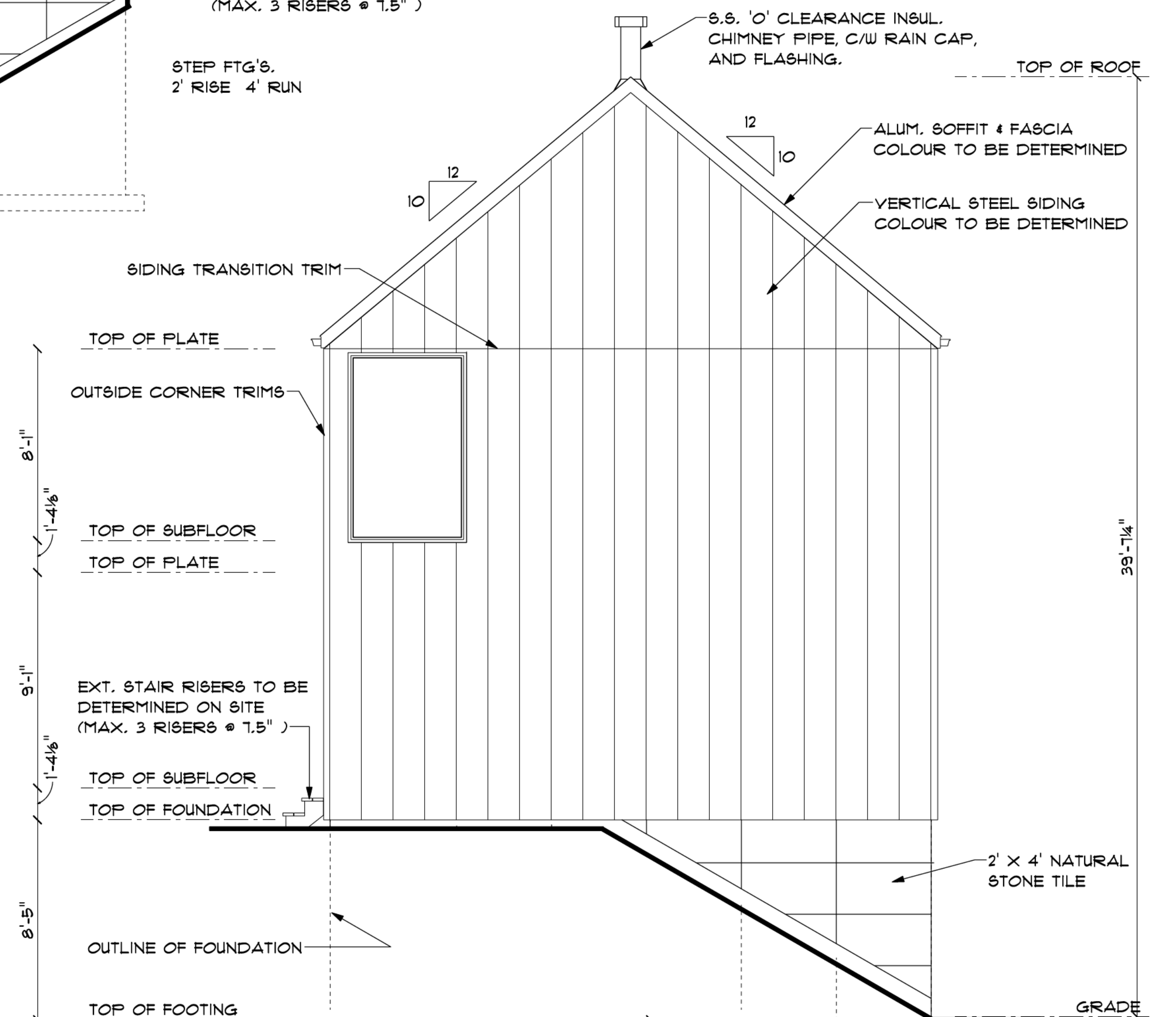
SB-12 DETAILS

2 SB-12 DETAILS WALK-OUT
07 COMPLIANCE PACKAGE A-5

1 SB-12 DETAILS
07 COMPLIANCE PACKAGE A-5



1
08 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2
08 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:
DRAWINGS ARE NOT TO BE SCALED.
CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO N. PITCHER DESIGNS BEFORE PROCEEDING WITH ANY WORK.
ALL WORK MUST COMPLY TO
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III) MUNICIPAL BY-LAWS

G/R/2021-2022/708
Map 3

DEC. 16/21	ADD WINDOW IN WEST ELEVATION
DATE:	REVISIONS

The undersigned has reviewed and takes responsibility for the design activities.		
QUALIFICATION INFORMATION		
Nail Pitcher	24013	
Name	Signature	BCIN
REGISTRATION INFORMATION		
N. Pitcher Designs	31683	
Firm Name	BCIN	

PART LOT 18, CON. 5
(FORMERLY) COLLINGWOOD TWP.
TOWN OF BLUE MOUNTAINS
COUNTY OF GREY
8 ACRES

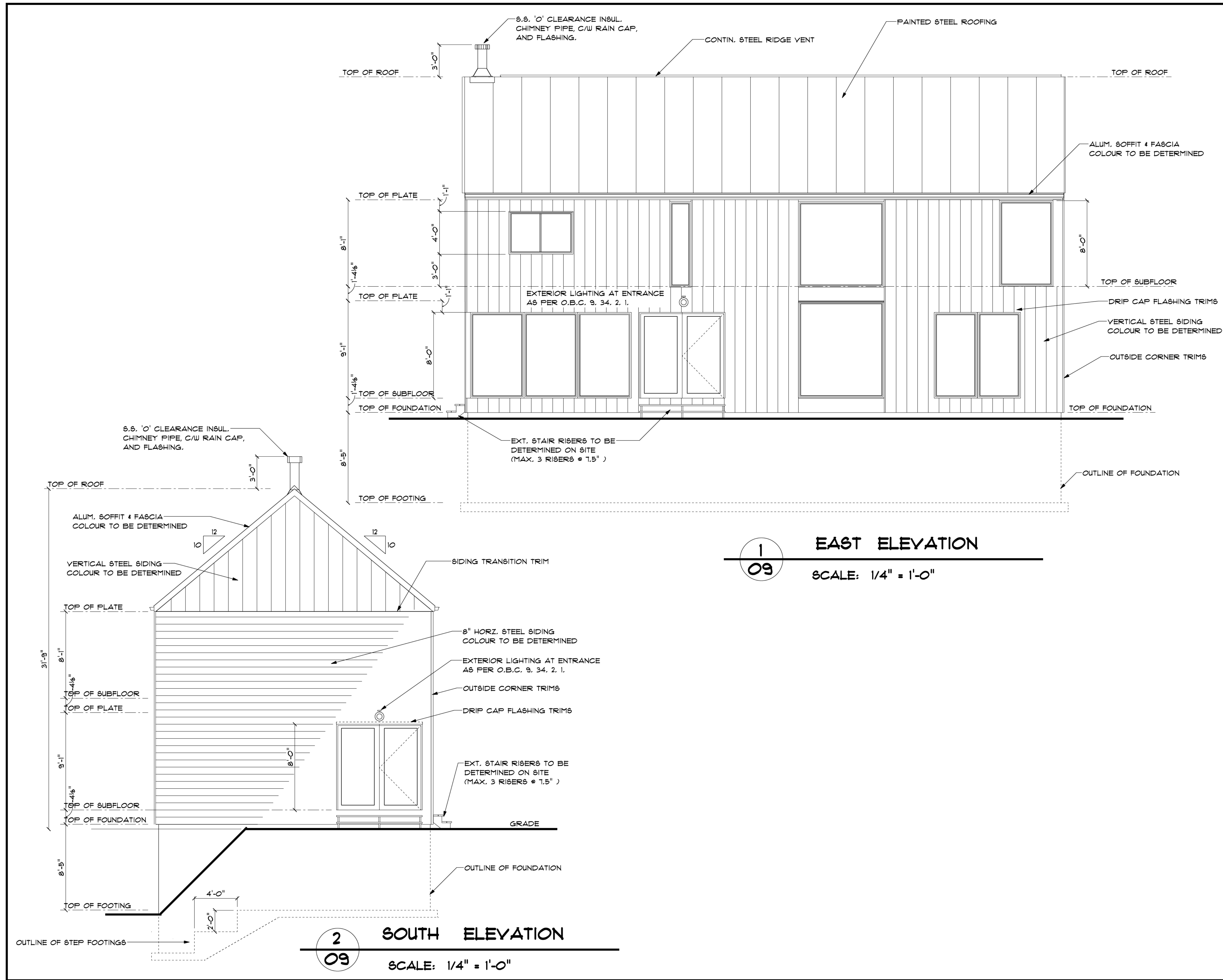
**N. Pitcher
Designs**

89 Gordon Street
P.O. Box 251
Georgetown, PEI
COA ILO

Tel. 519-374-7187
npitcherdesigns@bellnet.ca

Registration No. BCIN 24013
M.A.A.T.O. TG 1380

SCALE 1/4" = 1'-0"	DRAWN BY N.E.P
DATE: SEPT. 06/21	REVISED
WORKING DRAWINGS	
WEST & NORTH ELEVATION	DRAWING NUMBER O-2713/08



NOTES:

DRAWINGS ARE NOT TO BE SCALED.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO N. PITCHER DESIGNS BEFORE PROCEEDING WITH ANY WORK.

ALL WORK MUST COMPLY TO

I) ONTARIO BUILDING CODE, EDITION 2012

II) ELECTRICAL SAFETY AUTHORITY

III) MUNICIPAL BY-LAWS

G/R/2021-2022/708

Map 3

DEC. 16/21	ADJUST STEP FTG. SOUTH ELEV.
DATE:	REVISIONS

The undersigned has reviewed and takes responsibility for the design activities.		
QUALIFICATION INFORMATION		
Nail Pitcher	24013	
Name	Signature	BCIN
REGISTRATION INFORMATION		
N. Pitcher Designs	31683	
Firm Name	BCIN	

PART LOT 18, CON. 5
(FORMERLY) COLLINGWOOD TWP.
TOWN OF BLUE MOUNTAINS
COUNTY OF GREY
8 ACRES

 89 Gordon Street
P.O. Box 251
Georgetown, PEI
COA ILO

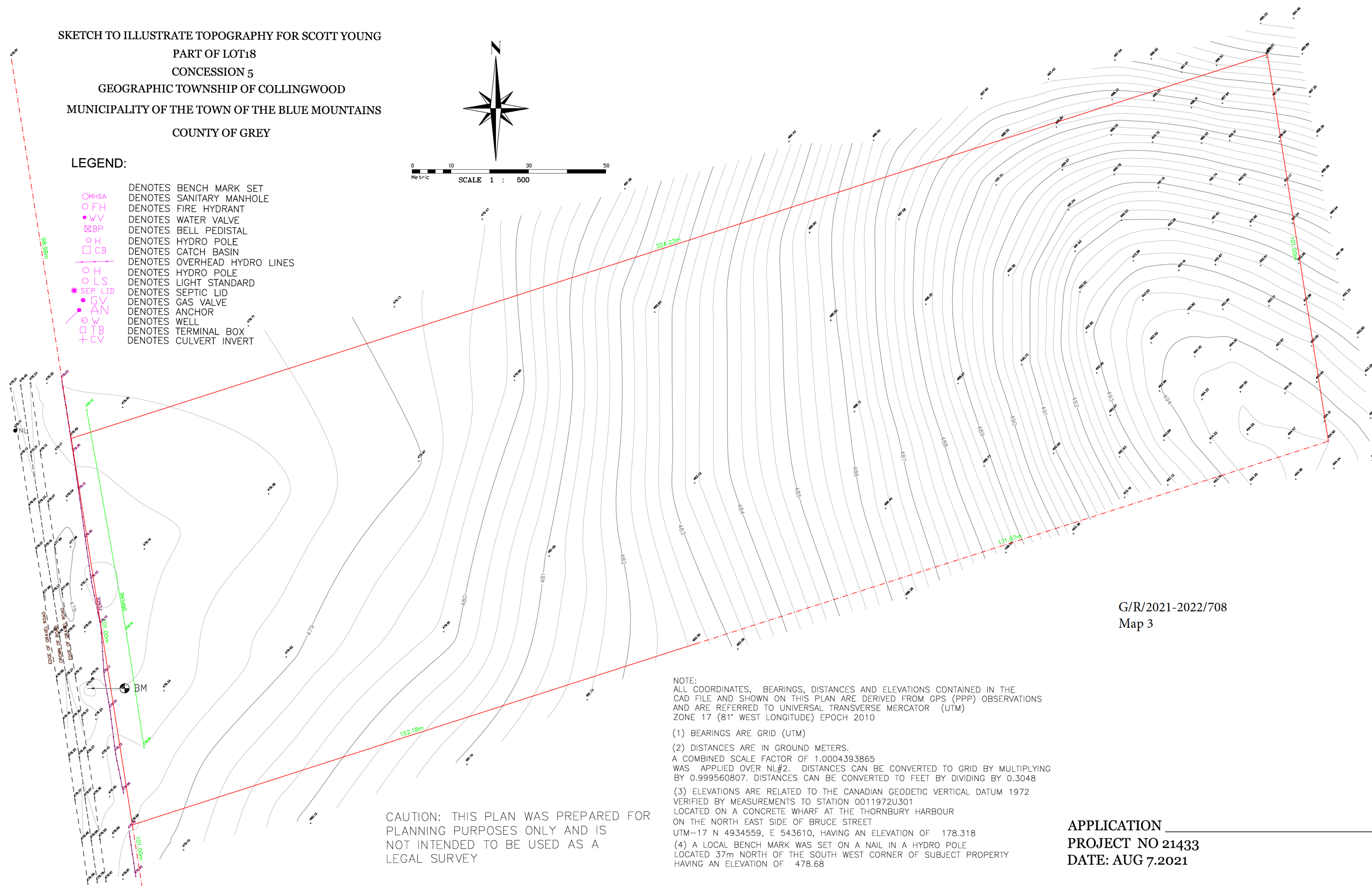
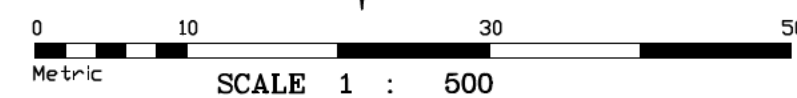
Tel. 519-374-7187
npitcherdesigns@bellnet.ca

Registration No. BCIN 24013
M.A.A.T.O. TG 1380

SCALE 1/4" = 1'-0"		DRAWN BY N.E.P
DATE: SEPT. 06/21		REVISED
WORKING DRAWINGS		
EAST & SOUTH ELEVATION		DRAWING NUMBER 0-273/09

LEGEND:

- | | | |
|---------------|---------|----------------------|
| ○ M H S A | DENOTES | BENCH MARK SET |
| ○ F H | DENOTES | SANITARY MANHOLE |
| ● W V | DENOTES | FIRE HYDRANT |
| ⊠ B P | DENOTES | WATER VALVE |
| ○ H | DENOTES | BELL PEDISTAL |
| □ C B | DENOTES | HYDRO POLE |
| → | DENOTES | CATCH BASIN |
| ○ H | DENOTES | OVERHEAD HYDRO LINES |
| ○ L S | DENOTES | HYDRO POLE |
| ■ S E P L I D | DENOTES | LIGHT STANDARD |
| ● G V | DENOTES | SEPTIC LID |
| ○ A N | DENOTES | GAS VALVE |
| ○ W | DENOTES | ANCHOR |
| □ T B | DENOTES | WELL |
| □ C V | DENOTES | TERMINAL BOX |
| | DENOTES | CULVERT INVERT |



G/R/2021-2022/708
Map 3

NOTE:
ALL COORDINATES, BEARINGS, DISTANCES AND ELEVATIONS CONTAINED IN THE
CAD FILE AND SHOWN ON THIS PLAN ARE DERIVED FROM GPS (PPP) OBSERVATIONS
AND ARE REFERRED TO UNIVERSAL TRANSVERSE MERCATOR (UTM)
ZONE 17 (81° WEST LONGITUDE) EPOCH 2010

(1) BEARINGS ARE GRID (UTM)

(2) DISTANCES ARE IN GROUND METERS.

A COMBINED SCALE FACTOR OF 1.0004393865

A COMBINED SCALE FACTOR OF 1.0004993805
 WAS APPLIED OVER NL#2. DISTANCES CAN BE CONVERTED TO GRID BY MULTIPLYING
 BY 0.999560807. DISTANCES CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

(3) ELEVATIONS ARE RELATED TO THE CANADIAN GEODETIC VERTICAL DATUM 1972
VERIFIED BY MEASUREMENTS TO STATION 0011972U301

LOCATED ON A CONCRETE WHARF AT THE THORNBURY HARBOUR

ON THE NORTH EAST SIDE OF BRUCE STREET
UTM-17 N 4934559, E 543610, HAVING AN ELEVATION OF 178.318

(4) A LOCAL BENCH MARK WAS SET ON A NAIL IN A HYDRO POLE LOCATED 37m NORTH OF THE SOUTH WEST CORNER OF SUBJECT PROPERTY HAVING AN ELEVATION OF 478.68

APPLICATION _____
PROJECT NO 21433
DATE: AUG 7, 2021